



EAGLEVILLE PLANNING COMMISSION

AGENDA

Eagleville City Hall
December 9, 2024

108 South Main Street
6:30 p.m.

Prior to meeting, please silence all electronic devices.

- 1) CALL TO ORDER – Chairman, Derrick Lynch
- 2) ROLL CALL / DETERMINATION OF QUORUM
- 3) CITIZEN COMMENTS – Each Citizen will be given up to 3 minutes to speak
- 4) MINUTES/OTHER BUSINESS
 - (a) Approve or Deny Minutes of Planning Commission Public Hearing on September 9, 2024
 - (b) Approve or Deny Minutes of Planning Commission Meeting of September 9, 2024
 - (c) Approve or Deny Minutes of Planning Commission Meeting of November 4, 2024
- 5) Design Review Recommendations
- 6) Old Business
- 7) NEW BUSINESS
 - (a) Review and Approve Final Plat for Eagleville Estates Section 2
 - (b) Review and Approve Preliminary Plat for Winterbrook Development
 - (c) Review and Approve Zoning Ordinance No.2024-006 to send to City Council as Recommendation
 - (d) Adoption of Planning Commission Meeting Dates for 2025
- 8) City Manager/City Planner Report
- 9) ADJOURNMENT

ITEM 4 Approve or Deny Minutes

- (a)** Approve or Deny Minutes of Planning Commission Public Hearing on September 9, 2024
- (b)** Approve or Deny Minutes of Planning Commission Meeting of September 9, 2024
- (c)** Approve or Deny Minutes of Planning Commission Meeting of November 4, 2024

**Minutes of the
Planning Commission Public Hearing
Eagleville City Hall, Eagleville, TN
Monday, September 9, 2024 – 6:30 PM**

1) CALL TO ORDER

Chairman Derrick Lynch called the meeting to order at 6:31 p.m.

2) ROLL CALL

The roll was called by City Clerk, Katy Sanderson.

PLANNING COMMISSION

PRESENT:

Chairman Derrick Lynch

Commissioner Darren Shanks

Secretary Justin Bryant

Commissioner Erik Hurter

Councilman Chris Hendrix

STAFF:

City Manager Hellyn Riggins

City Clerk Katy Sanderson

GUESTS:

Brittney Leonard

Jeanie Whaley

Lake Middleton

Jackie Javor

Mike Javor

Justin Nelson

Charlie Waite

Rob Molchan

Corey Craig

Roger Jenkins

Aaron (last name illegible)

3) OPEN PUBLIC HEARING

Chairman Lynch thanked people for coming. He then explained that everyone who had filled out a speaker card would get the opportunity to speak for 3 minutes. Chairman Lynch read each resolution and explained the plans of service and the annexing portions of the road and property proposed for annexation on College Grove Road.

Chairman Lynch called upon Jeanie Whaley of 308 College Grove Road and address the Commission.

Ms. Whaley introduced herself and stated the address where she resides as 308 College Grove Road as well as having ownership of 346 College Grove Road. She stated that she was concerned about the length of time it will take to widen the proposed annexation section of College Grove Road due to the following reasons.

- Over the last year there has been a section of College Grove Road that was closed for a bridge replacement. During that time the school bus did not come down College Grove Road.

- Rutherford County Schools Transportation Department advised that her children should walk down College Grove Road to Highway 41A to catch the bus because it wasn't very far.
- There is no sidewalk where they were told to wait for the bus and Ms. Whaley felt it was a dangerous place for her children to wait.
- She is hoping the widening process will not take long.

Chairman Lynch thanked Ms. Whaley for her concern and stated that the Commission would take it into consideration.

Chairman Lynch called upon Lake Middleton to speak and Mr. Middleton declined.

Chairman Lynch called upon Justin Nelson to speak and Mr. Nelson said he would like to speak on the topic of Webb Road to be discussed at the Planning Commission meeting.

- (a) RESOLUTION 2024-006. A RESOLUTION TO ADOPT A PLAN OF SERVICES TO ANNEX INTO THE CITY OF EAGLEVILLE, TENNESSEE A PORTION OF COLLEGE GROVE ROAD, VARYING RIGHT OF WAY WIDTHS FROM 45 TO 60 FEET IN WIDTH, AND A LENGTH OF APPROXIMATELY .47 (APPROXIMATELY 2,500 FEET) OF A MILE FROM THE WILLIAMSON COUNTY LINE TO THE EASTERN BOUNDARY OF 309 COLLEGE GROVE ROAD, ALL WITHIN THE EAGLEVILLE URBAN GROWTH
- (b) RESOLUTION 2024-007. RESOLUTION TO ADOPT A PLAN OF SERVICES FOR 68.21 ACRES LOCATED ALONG A STRETCH OF COLLEGE GROVE ROAD (TAX MAPS 120 02312, 120 02303 AND 120 02310) KZO FRANKLIN PROPERTIES, APPLICANT
- (c) RESOLUTION 2024-008. A RESOLUTION TO ANNEX INTO THE CITY OF EAGLEVILLE, TENNESSEE A PORTION OF COLLEGE GROVE ROAD, VARYING RIGHT OF WAY WIDTHS FROM 45 TO 60 FEET IN WIDTH, AND A LENGTH OF APPROXIMATELY .47 (APPROXIMATELY 2,500 FEET) OF A MILE FROM THE WILLIAMSON COUNTY LINE TO THE EASTERN BOUNDARY OF 309 COLLEGE GROVE ROAD, ALL WITHIN THE EAGLEVILLE URBAN GROWTH
- (d) RESOLUTION 2024-009. A RESOLUTION TO ANNEX APPROXIMATELY 68.21 ACRES LOCATED ALONG A STRETCH OF COLLEGE GROVE ROAD (TAX MAPS 120 02312, 120 02303 AND 120 023.10) AND INCORPORATE SAME WITHIN THE CORPORATE BOUNDARIES OF THE CITY OF EAGLEVILLE, TENNESSEE, KZO FRANKLIN PROPERTIES, APPLICANT

4) Close Public Hearing

5) ADJOURNMENT

Chairman Lynch confirmed that there were no speakers or further business and adjourned the meeting at 6:37 p.m.

Approved by:

Chairman Derrick Lynch

Submitted by:

City Clerk Katy Sanderson

Date minutes approved: _____

**Minutes of the
Eagleville Planning Commission
Eagleville City Hall, Eagleville, TN
Monday, September 9, 2024 – 6:30pm**

1. CALL TO ORDER

Chairman Derrick Lynch called the meeting to order at 6:37 p.m.

2. ROLL CALL / DETERMINATION OF QUORUM

City Clerk Katy Sanderson called the roll.

PLANNING COMMISSION

PRESENT:

Chairman Derrick Lynch
Secretary Justin Bryant
Councilman Chris Hendrix

Commissioner Darren Shanks
Commissioner Erik Hurter

STAFF:

Hellyn Riggins, City Manager

Katy Sanderson, City Clerk

GUESTS:

Brittney Leonard	Jeanie Whaley	Justin Nelson
Jackie Javor	Mike Javor	Rob Molchan
Charlie Waite	Corey Craig	Roger Jenkins
Aaron (last name illegible)		

3. CITIZEN COMMENTS

City Manager Hellyn Riggins stated that anyone that would like to speak could do so regarding topics on the current agenda.

Justin Nelson stated his concern is regarding traffic safety on West Webb Road due to a lack of visibility at the second/western entrance. He explained that this entrance is located, according to site plan, over the knoll of a hill, resulting in, limited visibility while exiting this entrance.

Mr. Nelson also noted that on the original plot plan there was an area 50' x 50' area that was designated as a cemetery. On the most recent plat the cemetery is no larger than 25' x 25'. He wanted to make note of the lack of cohesiveness to the original plan, so it can be addressed.

4. MINUTES/OTHER BUSINESS

a. Approve or Deny Minutes of Planning Commission Meeting of August 5, 2024

Secretary Justin Bryant moved to approve the minutes.

Councilman Chris Hendrix seconded the motion.
The **MOTION** passed 5-0.

5. DESIGN REVIEW RECOMMENDATIONS

- a. Review and Approval of Design Review Recommendation for Design Changes to Façade and Signage for of Wild Roots Salon, 117 Clark Street

Ms. Riggins stated the Design Review Board reviewed a black and white awning to go over the entry door, a painted black handrail and the new black metal cutout signage. She explained that the Board's recommendation was to approve these items.

Commissioner Shanks moved to approve the design changes to the Façade, Signage and the painting of the handrails of Wild Roots Salon.

Councilman Hendrix seconded the motion.

The **MOTION** passed 5-0.

6. OLD BUSINESS

- a. **Preliminary Plat – Review and Approval of a Request by Salem Creek Partnership for a 204 Lot Subdivision to be Located at 742 West Webb Road – Zoning R-2/ PRD (Continued from August 5, 2024 meeting)**

City Manager Riggins stated that the Staff notes (attached) contained four new notes that were submitted to the applicant on August 28, 2024. She noted that three of the notes were related to engineering; while the fourth refers to planning. (The engineering notes are current Federal Emergency Management Agency (FEMA) the engineer is clarifying.)

Chairman Lynch confirmed that numbers 1-36 of the Planning section of the Staff notes were addressed along with a new note regarding number 23. He thanked Ms. Riggins for formatting the notes in a way easily reviewed.

Planning

- No. 23 - a recommendation for secondary front lots that any fencing be pulled back to be at least half of the front setback. This will allow proper site vision for residents pulling in and out of driveways.

Engineering

- No. 27 – Any fill placed in the floodplain will require an engineer's certification that it will not increase base flood elevations to greater than 1 foot (upstream or downstream). This certification will be required of individual lots, as part of the Building Permit process, should fill be proposed for that lot. A note to that effect, will be required on any final plat that has lots located in the floodplain.

- No. 28 – The elevations of any roadways, including Septic Tank Effluent Pump (STEP) system access road, must be 1 foot above the base flood elevations.
- No. 29 – The control building, as well as all electrical and mechanical components of the building, will also need to be a minimum of 1 foot above the base flood elevations.

Rob Molchan of Site Engineering Consultants (SEC), on the behalf of Salem Creek Partnership stated that the developer agrees to the new notes being added in regard to the Planning section of the Staff Notes. He also stated that the Engineer notes have been incorporated into the site plan.

Mr. Molchan spoke regarding the Citizen's Comments:

- The cemetery's dimensions are 50 feet x 50 feet.
- The roadway improvement plans have had some improvements made to that section of the road regarding grade.
 - He will work with City Engineer Will Owen on the construction plan to review more in depth, the curves on both sides of the crest.
 - Changes may need to be made to the plans, based on the citizen's comments.
 - Currently there are no plans to work on the grading on the back side of the hill in question so it will be looked at for improvement.

Commissioner Darren Shanks asked if there were rules for road standards. Mr. Molchan stated there are generally many roads that have not been improved to current standards, as with this road. He stated they evaluate the condition of the road and update the road to the current standards.

Secretary Bryant moved to approve the request by Stephenson Farms/Salem Creek Partnership for a 204 Lot Subdivision to be Located at 742 West Webb Road – Zoning R-2/ PRD, subject to Staff notes dated September 9, 2024, the western entrance to the development being evaluated by city and developer engineers, having only 200 lots and will meet the requirements of Ordinance 2023-002.

Commissioner Erik Hurter seconded the motion.

The **MOTION** passed 5-0.

7. NEW BUSINESS

- RESOLUTION 2024-006. A RESOLUTION TO ADOPT A PLAN OF SERVICES TO ANNEX INTO THE CITY OF EAGLEVILLE, TENNESSEE A PORTION OF COLLEGE GROVE ROAD, VARYING RIGHT OF WAY WIDTHS FROM 45 TO 60 FEET IN WIDTH, AND A LENGTH OF APPROXIMATELY .47 (APPROXIMATELY 2,500 FEET) OF A MILE FROM THE WILLIAMSON COUNTY LINE TO THE**

EASTERN BOUNDARY OF 309 COLLEGE GROVE ROAD, ALL WITHIN THE EAGLEVILLE URBAN GROWTH

Commissioner Shanks asked whether the City had the capacity (i.e. Police and Fire departments and the school) to service the proposed areas.

Chairman Lynch stated that to his knowledge, the school would not change and the fire and police departments would provide services to the area. Commissioner Shanks stated that these are things that should be considered.

City Manager Hellyn Riggins stated that until Rutherford County rezoned, they allowed, with adequate water/sewer, lot size to be as small as 15,000 square feet within the city's Urban Growth Boundary. She stated that the Council had asked her to review this development and adopt an ordinance that defines the criteria lot size, house materials, sidewalks, landscaping, etc. She stated that the Council investigated and determined that the City's zoning is more stringent than the County's zoning requirements. She noted that it was preferable for the City to annex and manage the property. She explained that the County revised their zoning and now requires a 1-acre minimum density, instead of 15,000 square feet. Ms. Riggins informed the Commission that the Council determined that they will now accept nothing smaller than 1 acre to coincide with the County's requirement.

Ms. Riggins addressed the question of capacity, noting more houses brought in property tax dollars, which will increase the City's budget allowing us to hire more fire fighters and police officers.

Councilman Hendrix stated that these areas are within the City's Urban Growth Boundary.

Chairman Lynch stated that the biggest impact he could see was to the road being annexed and the maintenance of the road.

Ms. Riggins stated that the developers are building a STEP system and would turn it over to the City for additional revenue. She noted that, by doing so, this would be a substantial savings for the City, as STEP systems are expensive.

Secretary Bryant moved to approve recommendation to City Council

Councilman Hendrix seconded the motion.

The **MOTION** passed 5-0.

b. RESOLUTION 2024-007. RESOLUTION TO ADOPT A PLAN OF SERVICES FOR 68.21 ACRES LOCATED ALONG A STRETCH OF COLLEGE GROVE ROAD (TAX MAPS 120 02312, 120 02303 AND 120 02310) KZO FRANKLIN PROPERTIES, APPLICANT

This resolution explains how the City will provide services to the property.

Secretary Bryant moved to approve recommendation to City Council
Councilman Hendrix seconded the motion.
The **MOTION** passed 5-0.

- c. **RESOLUTION 2024-008. A RESOLUTION TO ANNEX INTO THE CITY OF EAGLEVILLE, TENNESSEE A PORTION OF COLLEGE GROVE ROAD, VARYING RIGHT OF WAY WIDTHS FROM 45 TO 60 FEET IN WIDTH, AND A LENGTH OF APPROXIMATELY .47 (APPROXIMATELY 2,500 FEET) OF A MILE FROM THE WILLIAMSON COUNTY LINE TO THE EASTERN BOUNDARY OF 309 COLLEGE GROVE ROAD, ALL WITHIN THE EAGLEVILLE URBAN GROWTH**

Secretary Bryant moved to approve recommendation to City Council
Councilman Hendrix seconded the motion.
The **MOTION** passed 5-0.

- d. **RESOLUTION 2024-009. A RESOLUTION TO ANNEX APPROXIMATELY 68.21 ACRES LOCATED ALONG A STRETCH OF COLLEGE GROVE ROAD (TAX MAPS 120 02312, 120 02303 AND 120 023.10) AND INCORPORATE SAME WITHIN THE CORPORATE BOUNDARIES OF THE CITY OF EAGLEVILLE, TENNESSEE, KZO FRANKLIN PROPERTIES, APPLICANT**

Commissioner Shanks stated that he has spoken with Rutherford County Commissioner Pettus Read and been told that the county is looking into some zoning to protect rural farmland within the county and are not necessarily going to pass high density in rural areas. Commissioner Shanks stated he would not mind denying this recommendation and taking a chance with the County.

Secretary Bryant asked Commissioner Shanks if Commissioner Read had given a time frame for this zoning and Commissioner Shanks stated he was told it would be in the next months. Commissioner Shanks stated the reason people move here is the population and this annexation could double or triple the City's population which is not something he personally wants.

Ms. Riggins wanted to remind the Commission that they had recommended the plan of service for the roadway and property as well as annexation of the roadway. If the property is not annexed, the City will be taking care of the road without any revenue from the property to use.

Chairman Lynch stated that he understands a lot of people are hesitant but that it appears the growth will happen one way or another.

Secretary Bryant stated that he agreed with Commissioner Shanks concerns but that in regard to Rutherford County, they may make good changes in the future but up until now they haven't offered to slow growth.

Ms. Riggins stated that she has begged the County to take the 15,000 square feet density out of Eagleville's urban growth boundary and was told by Commissioner Read they couldn't do it. She stated that as a planner this was not something she wanted for the City. However,

because it is within our control, she believes this will be a better outcome. She said the Council will not accept anything less than 1 acre density. She also stated that just because the County has zoned the area as 1 acre density, does not mean they won't rezone it. Ms. Riggins stated as a planner who had worked in four different cities, it is always better to have something under your control than the unknown.

Chairman Lynch stated that services and streets would be used whether the property is annexed. Ms. Riggins stated that the new developments will also use the City's parks. If the City does not annex, we would not get any property taxes to fund our services. This high density was not something the City was looking for but the Council is adamant on 1 acre density.

Ms. Riggins stated that throughout her meetings with Winterbrook developers, they have shown her nice-looking houses and the property will be a nice addition to the City.

Councilman Hendrix moved to approve recommendation to City Council

Secretary Bryant seconded the motion.

The **MOTION** passed 5-0.

8. CITY MANAGER/CITY PLANNER REPORT

There was no report.

9. ADJOURNMENT

Chairman Lynch adjourned the meeting at 7:17 p.m.

Approved by:

Chairman Derrick Lynch

Submitted by:

City Clerk, Katy Sanderson

Date minutes were approved: _____

Staff Notes

Stephenson Farms

9/09/24 Review of Plans Received 8/12/24

(Shortened Version Sent to Applicant on 8/26)

Final for Approval

Preliminary Plat

204 Lots Revision Shows 200 Lots – If approved, it will be for 200 Lots

Note this Subdivision must meet requirements of Ordinance 2023-002

Planning Notes

1. The Planning Commission, once coordinated with USPS, would like to see two Kiosks for these 200 lots on the south side of the Harpeth. Concern for traffic backup at mailboxes. Final coordination with staff on location once USPS weighs in will be required. The lots to the north of the Harpeth River will need a separate kiosk, which will make a total of three.
2. All walking trails 6 feet wide mandatory.
3. Pavilions shown appear to be adequate and will have some bench seating.
4. Access Road to be reviewed by City Engineer. It is staff's understanding that the road will be either through the Future College Grove Subdivision or the former Scales property. The easement will need to be deeded to the City upon the City's acceptance of the STEP system. It will need to be paved before a final plat is approved. It will have to meet CUD and Eagleville standards.
5. No lots should have direct access to Webb Road. None are shown on plat.
6. Any approval should be that no lots in Phase 6 shall be approved for final plat until there is a public right of way leading to that area...and right of way shall be approved by City.
7. Service connector plan to be reviewed by city engineer during construction plan phase.
8. Sidewalks and utility locations to be reviewed by city engineer during construction plan phase.
9. Typical Road section per Eagleville Sub Regs required.
10. 20 feet PU Easements to be approved by city engineer during construction plan phase.
11. Sanitary sewer lines to be approved by city engineer. Water lines to be approved by city engineer and CUD. All to be done during construction plan phase.
12. Cemetery is now shown in an easement.
13. As-builts will be required prior to any vertical construction on all structures.
14. A drainage plan shall be submitted with each plot plan for a building permit which shall follow the overall drainage for the subdivision.
15. Several lots shown in floodplain. Any lot in floodplain will need a FEMA Elevation Certificate during permit process.
16. Open Space between lots 141 and 140 may be too narrow for machinery that may be needed if repairs to drainage etc. Applicant has stated they will make the area 12 feet wide.

17. Applicant to work with Staff and MTE on locating the Decorative Light Poles. The goal is to have lighting enough to not have dark spots, but not overly bright to shine into houses. MTE recommends poles at least at every intersection and end of cul de sac, and every 300 feet on long streets. We understand that as utilities go in, there may be some adjustments to locations. Please coordinate with city staff.
18. All fire hydrants have been reviewed by Fire Chief. Should there be changes, please coordinate with the Fire Chief.
19. Per previous conversations, stop signs must be located in highly visible locations and not hidden on the backside of sidewalks.
20. Landscape plan will be expected to be installed as shown on plans. Any changes shall go before staff.
21. No overhead lines are allowed added to Webb Road or inside the subdivision.
22. It is consistent that the Preliminary Plat be reviewed and approved before construction plans are reviewed.
23. **NEW NOTE 9/9/24:** We have had some issues with fences going on corner lots and blocking driver vision. It is staff's recommendation that the houses with corner lots have no fencing in the primary front yard, and the fence in the secondary front yard be set at least at half of the front setback requirement for the house to allow for site vision. And no fences allowed in the front yards of regular lots.
24. On final plat each lot will be required to be labeled with correct setbacks.
25. STEP easements need to be shown on each lot. This can be done on final plat but this sets the easement on each lot and thus needs to be shown as an easement on each lot.
26. Applicant is happy with location/okay with staff. Location of STEP tank and clear space on each lot is not optimal being in the middle of the lots. Suggest that developer choose a side. No driveways will be permitted in the CUD required clear space. This will need to be on final plat and not re-locatable without another plat should it be moved due to being a permanent easement.
27. Street Signs will be decorative.
28. Applicant stated that they will not coordinate with adjacent cattle/horse farm on fencing. City deems it a private matter.
29. Before Final Plat, bond will be required to be set by engineer on Webb Road improvements, Stephenson Drive and other improvements.
30. Rolled curbing will be used.
31. Sidewalks required on both sides of streets with required ADA access. Five feet minimum width.
32. Easements will need to be shown if any on individual lots.
33. Speed limit to be set by Police Chief. Coordinate with Police Chief before signs are ordered. Coordinate style with Planner.
34. Landscaping will need to be installed before COs are issued for houses.
35. Riprap is proposed for the detention areas. Any areas seen from houses should have landscaping screening.
36. Berm installation along Webb Road may or may not be installed per section, but must be installed for each section before Final Plat.

Engineering -- As of 9/9/2024, while some/all may have been addressed, left for future reference on staff notes. Engineer stated in Email 8/28/24 that Notes 1-26 have been addressed.

1. Cover Sheet: Retitle Master Plan to be Overall Plan. Retitle Preliminary Plan to be Preliminary Plat. Retitle Offsite Road Improvements Master to be Offsite Road Improvements Overall.
2. Correct Zoning to be R-2 PRD. Note approval date of Zoning.
3. Under Total Site Data, If this preliminary plat submittal is for condiation of all phases, include all phases in this list. If only for Phase 1, revise titles and heading to state Phase One only.
4. Darken phase lines for clarity.
5. Include trail layout n the overall sheet. Additional access points may be necessary.
6. An additional permanent mail kiosk with parking is needed in Phase 1 or Phase 2.
7. As previously discussed, plan sheets for an independent access drive to the proposed wastewater treatment and disposal areas needs to be included with this preliminary plat set. If the Winterbrooke portion of Spotted Owl is not completed by the time the first final plat is submitted, then an alternate access drive meeting city standard must be installed prior to any final plats being approved or recorded.
8. Correct all usage of plan to plat on all sheets.
9. C1.0 Add note stating this cross-section is applicable to all new roads proposed within the development.
10. C1.1 Road cross section needs to be reviewed against the City Sub Regulations. Planner will discuss with City Engineer.
11. C1.1 Water line does not match what is shown on the plan view.
12. C1.1 Sidewalks required on both sides of the road.
13. C1.1 Stephenson Road Webb Road intersection. Sidewalk overlaps curb. Maintain full width with grass strip and sidewalk through radius, revise throughout plat accordingly.
14. C1.1 Headwalls appear to be located in shoulder of road. Shift accordingly to remove conflict.
15. Add ADA ramps throughout plat at all intersection corners on all streets.
16. C1.2 . Sidewalk overlaps curb. Maintain full width with grass strip and sidewalk through radius, revise throughout plat accordingly.
17. C1.2 Snowy Owl intersection with Prairie Falcon. Label return radius for both curb line and ROW line on all intersections.
18. Label all required minimum FFEs for any lot that is encumbered by the 100 year flood plain.
19. Throughout plat -- lots should be independent of buffer areas. Buffer area should be wholly located in open space.
20. Label all centerline radii for all horizontal curves on all sheets.
21. Label radii of asphalt back of curb and row for all cul de sacs on all sheets.
22. Revise plat to no buffer or Wetlands are on individual lots.
23. Lot 17 does not appear to be viable/buildable due to buffer being on a significant portion. Revise.
24. Proposed sidewalk trail should be outside buffer area.

25. Part of trail appears to be located on Lot 162. This section should tie back to Barn Owl Trail.
26. C1.7 If this preliminary plat is for all lots and all phases, the "future" label should be removed from detention pond.
27. NEW NOTE Submitted to Applicant on 8/28/24: FEMA designation of the Harpeth River in this area is Zone AE with established base flood elevations but without a designated floodway. As such, any fill placed in the floodplain will require an engineer certification that it will not result in an increased to base flood elevations greater than 1 foot (upstream or downstream). This certification will also be required of individual lots as part of the building permit process if there is any fill being proposed on an individual lot. A note to that effect will be required to be placed on any final plat that has lots located in the floodplain.
28. NEW NOTE Submitted to Applicant on 8/28/24: Additionally, the elevation of any roadways (including the access road to the STEP system treatment components) must be 1' above the base flood elevations.
29. NEW NOTE Submitted to Applicant on 8/28/24: The control building as well as all electrical and mechanical components of the building will need to also be a minimum of 1' above the base flood elevations.

**Minutes of the
Eagleville Planning Commission
Eagleville City Hall, Eagleville, TN
Monday, November 4, 2024 – 6:30pm**

1. CALL TO ORDER

Chairman Derrick Lynch called the meeting to order at 6:30 p.m.

2. ROLL CALL / DETERMINATION OF QUORUM

City Clerk Katy Sanderson called the roll.

PLANNING COMMISSION

PRESENT:

Chairman Derrick Lynch
Secretary Justin Bryant
Councilman Chris Hendrix
Commissioner Erik Hurter

ABSENT:

Commissioner Darren Shanks

STAFF:

Hellyn Riggins, City Manager

Katy Sanderson, City Clerk

3. CITIZEN COMMENTS

There were no speakers.

4. MINUTES/OTHER BUSINESS

- a. **Approve or Deny Minutes of Planning Commission Meeting of September 9, 2024**
Deferred to next meeting on December 2, 2024

5. DESIGN REVIEW RECOMMENDATIONS

No recommendations

6. OLD BUSINESS

No old business.

7. NEW BUSINESS

- a. **Review and Approval of Zoning Ordinance Revisions to send to City Council for Review and Approval**

City Manager Hellyn Riggins presented amendment changes based on study and discussion of the Long Range Planning Committee. The final ordinance will be presented at the December 9, 2024, meeting for an official referral to the City Council.

Secretary Justin Bryant moved send zoning ordinance revisions to City Council for review and approval

Commissioner Hurter seconded the motion.

The **MOTION** passed 4-0.

8. CITY MANAGER/CITY PLANNER REPORT

City Manager Hellyn Riggins requested the Commission review the proposed dates for next calendar year's Planning Commission meeting included in the packet. They will be presented at the December 2, 2024, meeting for approval.

9. ADJOURNMENT

Councilman Chris Hendrix moved to adjourn the meeting.

Secretary Justin Bryant seconded the motion.

Chairman Lynch adjourned the meeting at 7:41 p.m.

Approved by:

Chairman Derrick Lynch

Submitted by:

City Clerk Katy Sanderson

Date minutes were approved: _____

EAGLEVILLE
PLANNING COMMISSION MEETING SCHEDULE*
2025

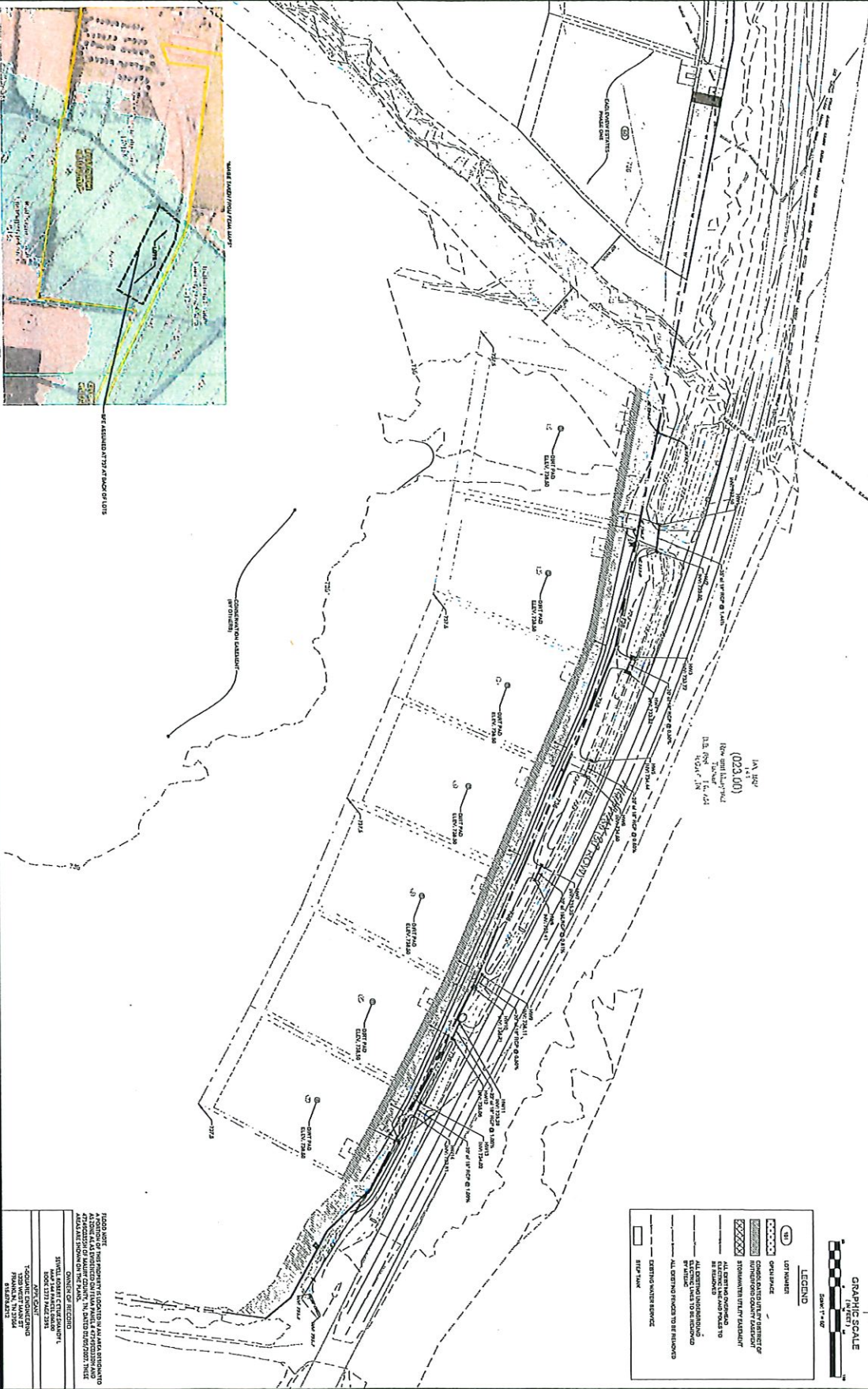
<u>Submittal Deadline</u>	<u>Date of Meeting</u>
December 9, 2024	January 6, 2025
January 6, 2025	February 3, 2025
February 3, 2025	March 3, 2025
March 3, 2025	April 7, 2025
April 7, 2025	May 5, 2025
May 5, 2025	June 2, 2025
June 2, 2025	July 7, 2025
July 7, 2025	August 4, 2025
August 4, 2025	September 8, 2025
September 8, 2025	October 13, 2025 (Oct. 6 is Fall Break)
October 13, 2025	November 10, 2025
November 10, 2025	December 8, 2025

All Meetings will be held at 6:00 p.m, *AS NEEDED.
in the Eagleville City Hall
108 S. Main Street
unless otherwise posted.

Board of Zoning Appeals and Design Review Board are held in conjunction
with Planning Commission meetings as needed.

ITEM 7a New Business

Review and Approve Final Plat for Eagleview Estates Section 2



T-SQUARE ENGINEERING
 1325 WEST MAIN STREET • FRANKLIN, TN • 615-978-8212 • WWW.T-SQ-ENG.COM

For 12-6-24

ROAD BUILT FOR THE PROJECT IS LOCATED IN AN AREA DESIGNATED AS RURAL RESIDENTIAL (RR) IN THE RUTHERFORD COUNTY ZONING ORDINANCE. THE PROJECT IS SUBJECT TO THE RUTHERFORD COUNTY ZONING ORDINANCE AND ANY APPLICABLE ORDINANCES. THE PROJECT IS SUBJECT TO THE RUTHERFORD COUNTY ZONING ORDINANCE AND ANY APPLICABLE ORDINANCES. THE PROJECT IS SUBJECT TO THE RUTHERFORD COUNTY ZONING ORDINANCE AND ANY APPLICABLE ORDINANCES.

PROJECT 19-0801
 SHEET D-5.0

GRADING AND DRAINAGE PLAN
 HWY 99, EAGLEVILLE
 MAP 144, PARCEL 060.00
 RUTHERFORD COUNTY, TENNESSEE

EAGLEVIEW ESTATES - PHASE TWO

NO.	DATE	REVISIONS
1	4/10/23	REVISIONS PER CUD COMMENTS
2	7/25/23	REVISIONS PER CUD COMMENTS
3	11/30/23	REVISIONS PER TOEG COMMENTS
4	11/16/24	REVISIONS TO GRADING PLAN
5	12/6/24	REVISIONS TO GRADING PLAN


DATE: 4/10/23
 SCALE:
 DRAWN BY: T-SQUARE
 REVIEWER: RSM

RE: Plans

From Will Owen <WOwen@griggsandmaloney.com>

Date Thu 12/5/2024 11:21 AM

To Hellyn Riggins <hriggins@eaglevilletn.gov>; Craig Sewell <craigsewell02@gmail.com>

 2 attachments (4 MB)

Eagleview Estates II FEMA Plat - Will initial review comments 12-5-24.pdf; Eagleview Estates II Revised Grading Plan FEMA - Will initial review comments 12-5-24.pdf;

Craig,

Revisions to the Estates 2 grading plan will likely accomplish your desired goal of having the lots entirely removed from the FEMA floodplain via a LOMR-F issuance.

However, until the LOMR-Fs are issued for these lots, they aren't formally removed from the floodplain until then. As such, these lots will still need to have the BFE as well as the corresponding min. FFE identified on the final plat.

If the LOMR-F is issued prior to recording of the final plat, this information can be removed from the plat.

Also, the grading plan is indicating completely flat lots. I think your intent was to build crawlspace houses that will ultimately result in higher elevations around the house which will allow the yards to drain properly away from the house.

Even with that intent, the minimum crawl space elevation will need to be at least 738.5 to provide at least a 1% slope away from the structures towards the front and rear boundary lines.

The above is a summary of the review comments on the attached plan sheets.
Let me know if you have any questions.



GRIGGS & MALONEY, INC.
745 S. CHURCH ST, STE 205
MURFREESBORO, TN 37130

Will Owen, P.E., C.F.M.

Principal & Vice-President

OFFICE: 615-895-8221

FAX: 615-895-0632

WOWEN@GRIGGSANDMALONEY.COM

[www.griggsandmaloney.com]WWW.GRIGGSANDMALONEY.COM

From: Hellyn Riggins <hriggins@eaglevilletn.gov>

Sent: Tuesday, December 3, 2024 12:02 PM

To: Craig Sewell <craigsewell02@gmail.com>; Will Owen <WOwen@griggsandmaloney.com>

Subject: Re: Plans

I will go along with whatever Will says....but we have to have an understanding of the Flood plain stuff.

From: Craig Sewell <craigsewell02@gmail.com>

Sent: Tuesday, December 3, 2024 11:21 AM

To: Will Owen <wowen@griggssandmaloney.com>; Hellyn Riggins <higgins@eaglevilletn.gov>

Subject: Plans

Will

Is there any possibility you could get the review of estates 2 so I could be on Monday planning commission or at least being ok with it being on the agenda as " per engineer review ". ???

I appreciate it

Thank you. Craig

ITEM 7b New Business

Review and Approve Plat for Winterbrook Development

P.O. Box 68
126 South Main Street
Eagleville, TN 37060



(615) 274-6992
Fax (615) 274-2637

SUBDIVISION PLAT APPLICATION

SUBDIVISION PLAT APPLICATION

Name of Subdivision Winterbrooke Manor Section Number (if applicable) Date of Application 11/4/2024

Type of Subdivision Plat Submitted: Preliminary ___ Final ___ Minor Final ___ Combination ___ Resubdivision

Applicant/Developer KZO Franklin Properties, LLC c/o Roger Jenkins

Mailing Address 5528 Hawks Landing Dr. City Arrington State TN Zip 37014

Phone Number 615-238-5767 Fax Email rogerjenkins@mte.com

Project Engineer/Surveyor SEC, Inc. c/o Rob Molchan, P.L.A.

Mailing Address 850 Middle Tennessee Blvd. City Murfreesboro State TN Zip 37129

Phone Number 615-890-7901 Fax Email rmolchan@sec-civil.com

PLEASE COMPLETE THE FOLLOWING PROPERTY INFORMATION

1 Tax Map 120 Group Parcel 23.03, 23.10, 23.12 Deed Book RB 1762 Page Number 3265

Civil District 99 Buildable Lots Number of Proposed Lots 99 Buildable Lots

Was a concept meeting held with staff? Yes ___ No

If yes, on what date did this meeting occur: During the annexation approvals

ADDITIONAL REQUIRED INFORMATION

2 A copy of the owner's deed

A plat checklist

N/A A copy of NPDES Permit (if applicable) Permit #: NOTE: NPDES is required by the state if more than 1-acre of land is to be disturbed.

I hereby certify that the information contained in this application is true and correct to the best of my knowledge and belief

Applicant's Signature *R Jenkins* Applicant's Name (Printed) Roger Jenkins Date 11/4/2024

STAFF USE ONLY - FEES

1 Minor Plat Fees: 150/application Minor Change to Preliminary or Final Plat \$150 Preliminary /Final Fees: Less than 10 Lots \$350 + \$50/lot Preliminary/Final Fees: 10 or more lots \$500 + \$50/lot

2 Reserved

Fee Paid to City: Receipt Number 524496 Total: 5450.00



2024

[Signature] 11/4/24

Return To:
 McCann & Hubbard
 1804 Williamson Ct, Suite 201
 Brentwood, TN 37027
 615-377-3319

1

WARRANTY DEED	STATE OF TENNESSEE COUNTY OF <u>Williamson</u>
	THE ACTUAL CONSIDERATION OR VALUE, WHICHEVER IS GREATER, FOR THIS TRANSFER IS \$1,100,000.00. <u>Pratt</u> Affiant
	SWORN AND SUBSCRIBED TO BEFORE ME, THIS THE 29th day of March, 2019. <u>Elizabeth A. Willis</u> (Affix Seal) Notary Public
	My Commission Expires: <u>1-30-22</u>

2018-265-1

THIS INSTRUMENT WAS PREPARED BY and PLEASE RETURN TO:

KATHLEEN HALE MCCLELLAN, ESQ.
HALE AND HALE, PLC
 198 EAST MAIN STREET, STE 200
 FRANKLIN, TN 37064



MY COMMISSION EXPIRES:
 JANUARY 30, 2022

Address of New Owners:	Send Tax Bills To:	Tax ID#:
KZO Franklin Properties, LLC 693 College Grove Road Eagleville, TN 37060	<u>New Owner</u> <u>5528 Hawks Landing Dr</u> <u>Arrington, TN 37014</u>	Map/Parcel Map 119 Parcel 001.00, 120, Parcels 23.03, 23.10 and 23.12

For and in consideration of the sum of TEN DOLLARS, cash in hand, paid by the hereinafter named GRANTEE, and other good and valuable consideration, the receipt of which is hereby acknowledged, John Thomas Goodgame Jr., hereinafter called the GRANTOR, has bargained and sold, and by these presents does hereby transfer and convey unto KZO Franklin Properties, LLC, a Limited Liability Company, hereinafter called the GRANTEE, its heirs and assigns, that certain tract or parcel of land in RUTHERFORD COUNTY, STATE OF TENNESSEE described as follows, to wit:

SEE EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN DESCRIBED BY REFERENCE

This conveyance is subject to the following: 2019 Rutherford County taxes, zoning, setback requirements and general utility, sewer, and drainage easements of record, subdivision and/or condominium declarations, covenants, restrictions, and easements of record.

This is unimproved property known as 693 College Grove Road, Eagleville, TN 37060.

TO HAVE AND TO HOLD the said tract or parcel of land, with the appurtenances, estate, title, and interest thereto belonging to the said GRANTEE, its successors and assigns forever; and the GRANTOR, does covenant with the said GRANTEE that he is lawfully seized and possessed of said land in fee simple, has a good right to convey it, and that the same is unencumbered, unless otherwise herein set out; and he does further covenant and binds himself, his heirs and assigns, to warrant and forever defend the title to the said land to the said GRANTEE, its successors and assigns, against the lawful claims of all persons whomsoever.

Wherever used, the singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

Witness my hand this 29th day of March, 2019:

1

Heather Dawbarn, Register
 Rutherford County Tennessee
 Rec #: 994874 Instrument #: 2199977
 Rec'd: 30.00 State: 4070.00
 Clerk: 1.00 Recorded
 Other: 2.00 4/11/2019 at 8:55 AM
 Total: 4103.00 in
 Record Book 1762 Pgs 3265-3270

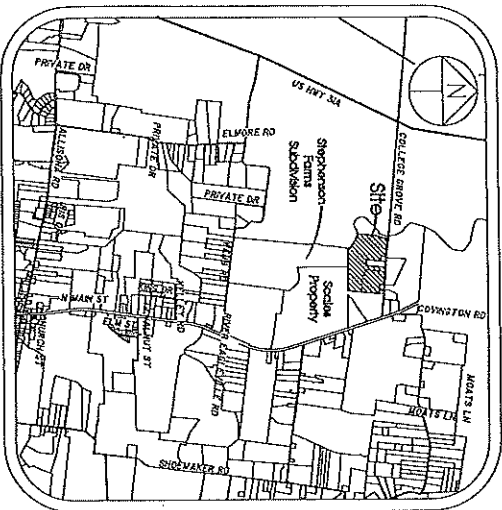
Winterbrooke Manor Subdivision

Eagleville, Tennessee

S.O.P. No. _____
Preliminary Plat

Drawing Index

Sheet No.	Title
C0.0	Cover Sheet
C0.1	Overall Plan
C1.0 - C1.4	Preliminary Plat
C2.0	Offsite Road Improvements Overall
C3.0 - C3.3	Offsite Road Improvements
C4.0	Mail Kiosk Site Plan
L1.0 - L1.2	Landscape Plans
L2.0	Landscape Details and Notes
PH1.0 - PH1.3	Photometric Plan
PH2.0	Photometric Details and Notes



Site Location Map
Not to Scale

Watershed: Harpeth River



SPECTRA SITE ENGINEERING CONSULTANTS
 SUBDIVISION, DEVELOPMENT, LANDSCAPE PLANNING
 100 WOODLARK TRENNESSIAN BOULEVARD, MEMPHIS, TENNESSEE 38119
 PHONE: (901) 890-9100 FAX: (901) 893-4487
 3446 ALVA BROTHERS BLVD., CIVIL, CIVIL
 NO. 1000 OF THE SPANISH LANE IN REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.A. INC.
 COPYRIGHT © 2014, INC. 2014

By: *Richard Houzer* Richard Houzer, P.E. TN Reg. #108494
 Date: *1/14/14*

Owner/Developer:

5200 Franklin Properties, LLC
 5528 Haines Landing Drive
 Arlington, TN 37014

Floodplain Note:

A portion of this site lies within the 100 Year Flood Plain Per FEMA Community Panel No. 474600020A, dated May 5, 2003.

Total Site Land Data:

Total Site Land = 24.76 Acres

STEP Land Data:

STEP Area Ltd = 1.038 Acres

Yard Requirements:

Front: 10'
 Side: 10'
 Rear: 20'

Deed Reference:

The deed for this property is recorded in
 120, Period 2200, 2210, and 2212
 as recorded in Record Bk. 7762, Pg. 2285.

STEP Design:

Design Flow = 150 Lanes/300 yrd = 15,000 gpd
 Design Lining Soil Rate = 0.2 cubic
 Required Land Application Area = 3.44 Acres
 Proposed 50% Retention Application Area = 1.72 Acres
 Required 50% Retention Application Area = 1.72 Acres
 Total Provider = 3.56 + 2.14 = 7.40

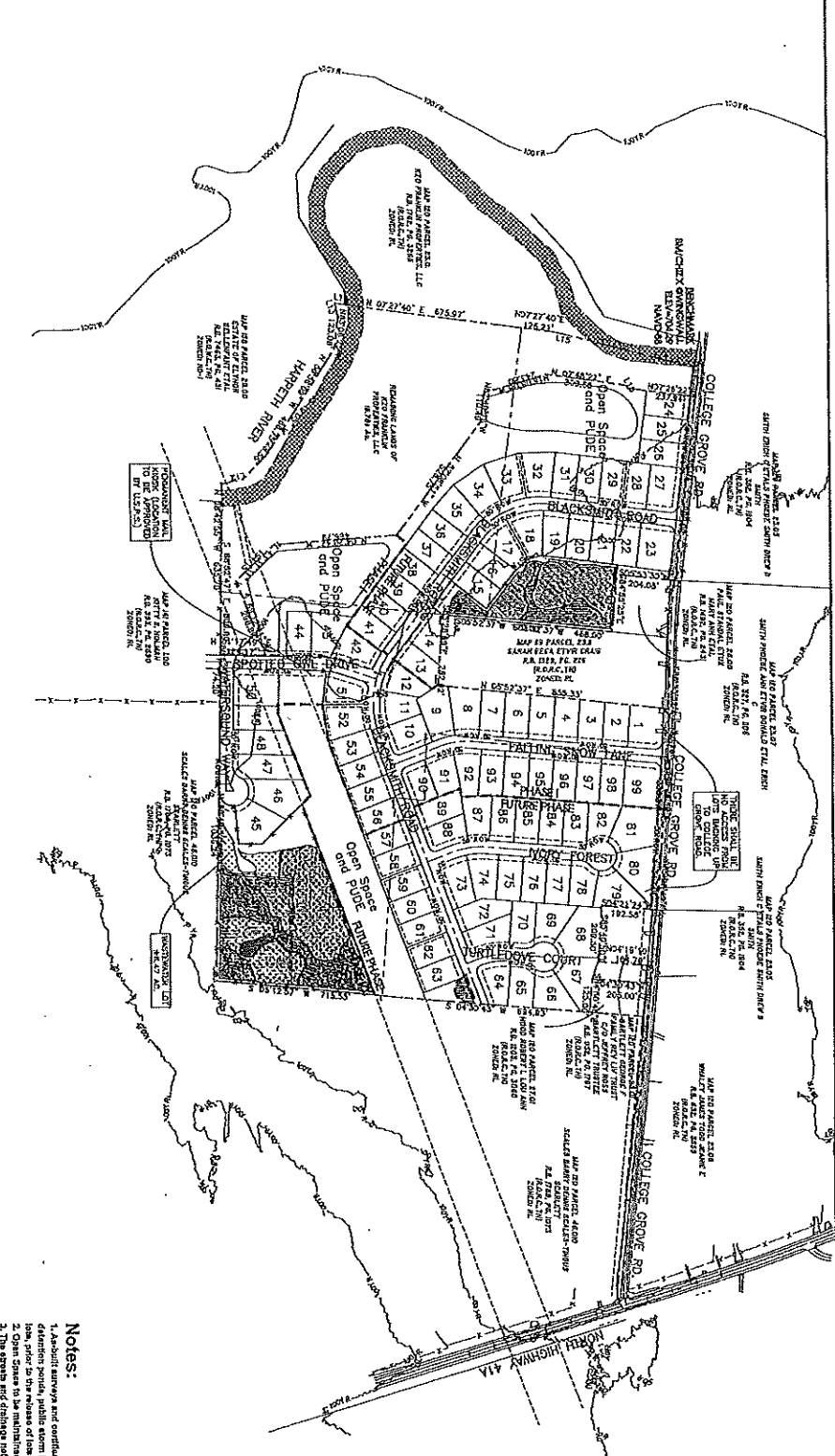
Notes:

- As-built surveys and certificates will be required for detention ponds, public storm infrastructure and utility on lots, prior to the release of lots for home construction.
- Open areas are delineated in purple.
- Other notes and engineering notes are to meet the Eagleville Planning and Engineering regulations, no matter what is shown on the preliminary plan.

Preliminary Plat approved by the Eagleville Planning Commission, with such
 conditions and restrictions of the Commission. _____
 This shall not constitute final approval for recording purposes.
 Date: _____

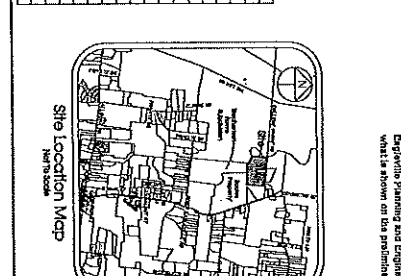
Sheet: C0.0
 Winterbrooke Subdivision
 Preliminary Plat
 S.E.C. Project #19240
 1 of 4 - 01-2214
 Revised:

Legend:	Symbol	Description
□	□	Lot
○	○	Open Space
○	○	Water
○	○	Drainage
○	○	Utility
○	○	Structure
○	○	Other



Property Boundary Line Chart	Line #	Bearing	Distance
1	S 81°30'27"E	15.82'	
2	S 81°30'27"E	15.82'	
3	S 81°30'27"E	15.82'	
4	S 81°30'27"E	15.82'	
5	S 81°30'27"E	15.82'	
6	S 81°30'27"E	15.82'	
7	S 81°30'27"E	15.82'	
8	S 81°30'27"E	15.82'	
9	S 81°30'27"E	15.82'	
10	S 81°30'27"E	15.82'	

Notes:
1. Assessor maps and certifications will be required for all lots.
2. Open Space to be maintained by HOA.
3. The streets and drainage easements are to remain in perpetuity.



Lot #	Lot Area (sq. ft.)	Lot #	Lot Area (sq. ft.)
1	15,827	54	15,827
2	15,827	55	15,827
3	15,827	56	15,827
4	15,827	57	15,827
5	15,827	58	15,827
6	15,827	59	15,827
7	15,827	60	15,827
8	15,827	61	15,827
9	15,827	62	15,827
10	15,827	63	15,827
11	15,827	64	15,827
12	15,827	65	15,827
13	15,827	66	15,827
14	15,827	67	15,827
15	15,827	68	15,827
16	15,827	69	15,827
17	15,827	70	15,827
18	15,827	71	15,827
19	15,827	72	15,827
20	15,827	73	15,827
21	15,827	74	15,827
22	15,827	75	15,827
23	15,827	76	15,827
24	15,827	77	15,827
25	15,827	78	15,827
26	15,827	79	15,827
27	15,827	80	15,827
28	15,827	81	15,827
29	15,827	82	15,827
30	15,827	83	15,827
31	15,827	84	15,827
32	15,827	85	15,827
33	15,827	86	15,827
34	15,827	87	15,827
35	15,827	88	15,827
36	15,827	89	15,827
37	15,827	90	15,827
38	15,827	91	15,827
39	15,827	92	15,827
40	15,827	93	15,827
41	15,827	94	15,827
42	15,827	95	15,827
43	15,827	96	15,827
44	15,827	97	15,827
45	15,827	98	15,827
46	15,827	99	15,827
47	15,827	100	15,827

Overall Plan

Scale: 1" = 200'

North Arrow

Winterbrooke Manor Subdivision Preliminary Plat

Eagleville, Tennessee

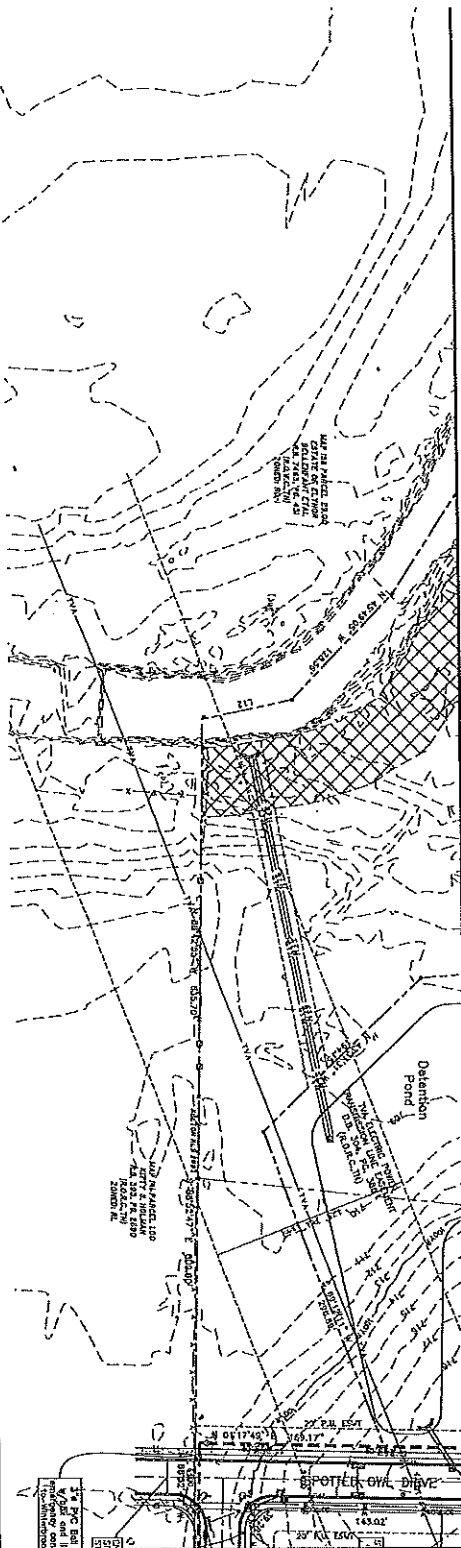
SEC, Inc. SITE ENGINEERING CONSULTANTS

ENGINEERING • SURVEYING • LAND PLANNING

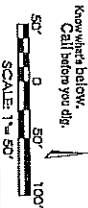
LANDSCAPE ARCHITECTURE

400 MIDCITY TENNESSEE BOULEVARD | 410 PINE TREE ROAD, TENNESSEE 37122
 PHONE: (615) 252-7291 | EMAIL: PROJECTS@SEC-CIVIL.COM | FAX: (615) 252-2297
 1000 W. MAIN STREET, SUITE 100, EAGLEVILLE, TENNESSEE 37025 | WWW.SEC-CIVIL.COM

SHEET C1.2B



Note:
See civil water designer for
construction of water main.



Know what you are
doing before you dig.
Call before you dig.
1-800-4-A-DIG
1-800-476-3447
www.callbeforeyoudig.com

Preliminary Plat

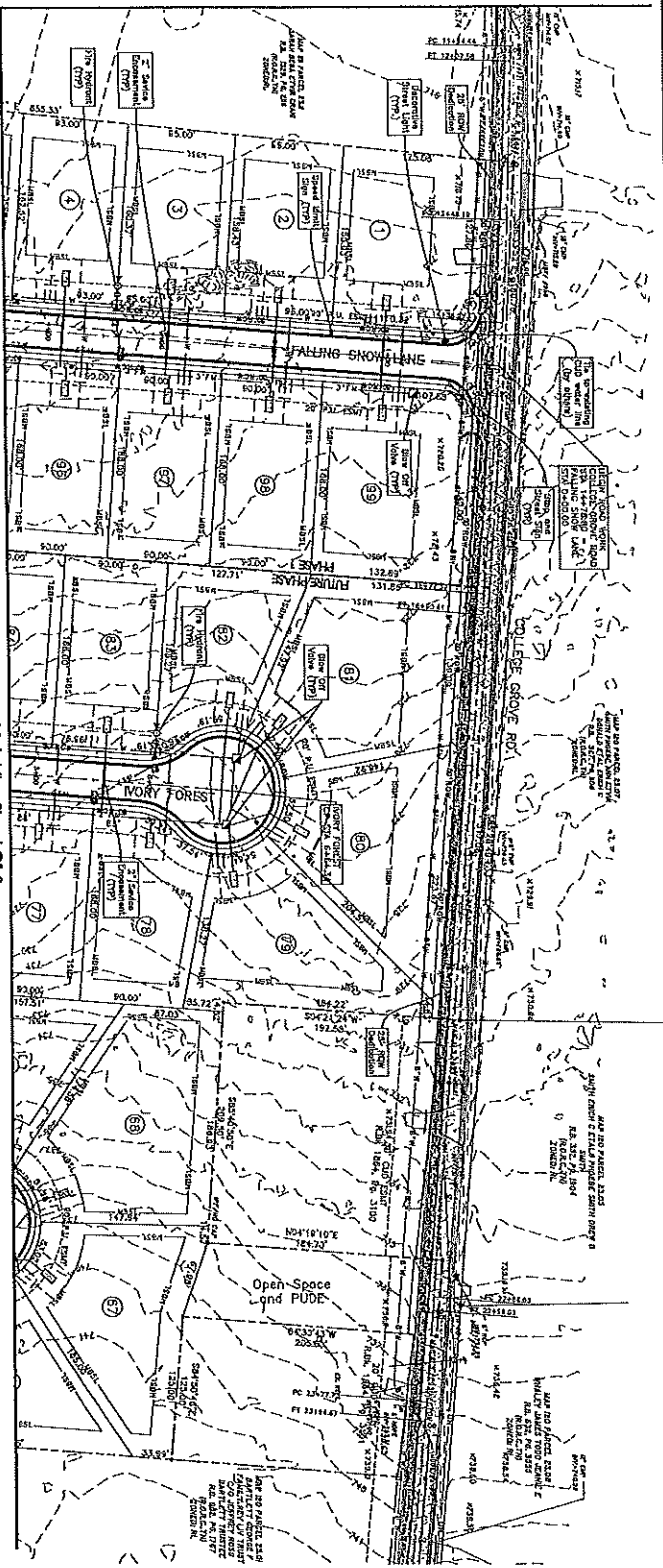
Winterbrooke Manor Subdivision
Preliminary Plat

Eagleville, Tennessee

Matchline Sheet C1.0

SHEET C1.2A

Matchline Sheet C1.3



Legend:

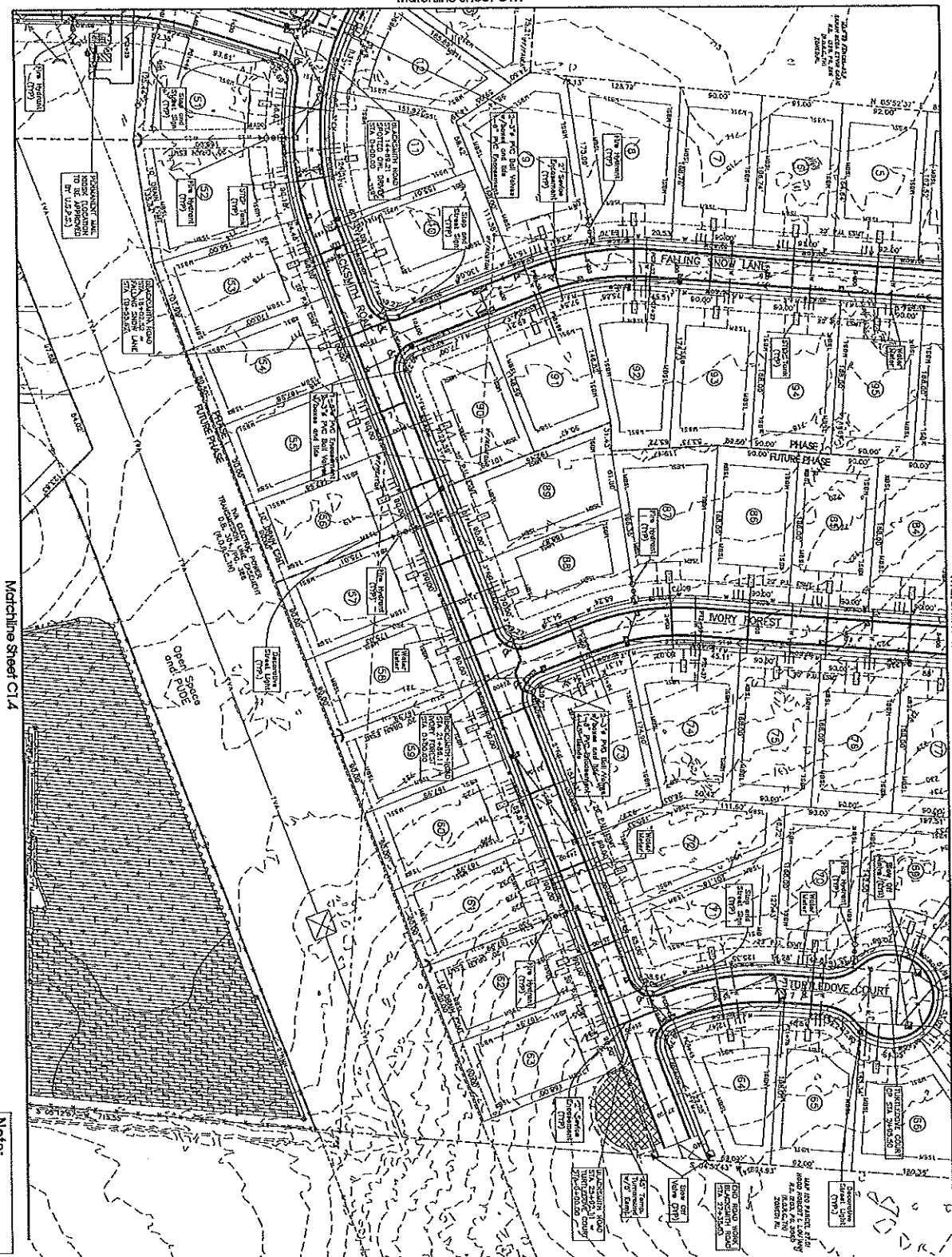
1	EXIST. CONCRETE	2	CONCRETE
3	EXIST. ASPHALT	4	ASPHALT
5	EXIST. GRAVEL	6	GRAVEL
7	EXIST. SAND	8	SAND
9	EXIST. GRAVEL/SAND	10	GRAVEL/SAND
11	EXIST. GRAVEL/SAND	12	GRAVEL/SAND
13	EXIST. GRAVEL/SAND	14	GRAVEL/SAND
15	EXIST. GRAVEL/SAND	16	GRAVEL/SAND
17	EXIST. GRAVEL/SAND	18	GRAVEL/SAND
19	EXIST. GRAVEL/SAND	20	GRAVEL/SAND
21	EXIST. GRAVEL/SAND	22	GRAVEL/SAND
23	EXIST. GRAVEL/SAND	24	GRAVEL/SAND
25	EXIST. GRAVEL/SAND	26	GRAVEL/SAND
27	EXIST. GRAVEL/SAND	28	GRAVEL/SAND
29	EXIST. GRAVEL/SAND	30	GRAVEL/SAND
31	EXIST. GRAVEL/SAND	32	GRAVEL/SAND
33	EXIST. GRAVEL/SAND	34	GRAVEL/SAND
35	EXIST. GRAVEL/SAND	36	GRAVEL/SAND
37	EXIST. GRAVEL/SAND	38	GRAVEL/SAND
39	EXIST. GRAVEL/SAND	40	GRAVEL/SAND
41	EXIST. GRAVEL/SAND	42	GRAVEL/SAND
43	EXIST. GRAVEL/SAND	44	GRAVEL/SAND
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47	EXIST. GRAVEL/SAND	48	GRAVEL/SAND
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61	EXIST. GRAVEL/SAND	62	GRAVEL/SAND
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65	EXIST. GRAVEL/SAND	66	GRAVEL/SAND
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81	EXIST. GRAVEL/SAND	82	GRAVEL/SAND
83	EXIST. GRAVEL/SAND	84	GRAVEL/SAND
85	EXIST. GRAVEL/SAND	86	GRAVEL/SAND
87	EXIST. GRAVEL/SAND	88	GRAVEL/SAND
89	EXIST. GRAVEL/SAND	90	GRAVEL/SAND
91	EXIST. GRAVEL/SAND	92	GRAVEL/SAND
93	EXIST. GRAVEL/SAND	94	GRAVEL/SAND
95	EXIST. GRAVEL/SAND	96	GRAVEL/SAND
97	EXIST. GRAVEL/SAND	98	GRAVEL/SAND
99	EXIST. GRAVEL/SAND	100	GRAVEL/SAND



SEC, Inc SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 450 MADISON TENNESSEE BOULEVARD NORTHBRESCORO, TENNESSEE 37109
 PHONE: (615) 441-1100 FAX: (615) 441-1101
 WWW: WWW.SEC-CIVIL.COM
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF SEC, INC.

C1.2

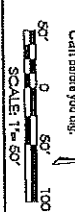
Matchline Sheet C1.1



Matchline Sheet C1.4

Matchline Sheet C1.2A

Note:
See CUD water design for construction of water main.



Know what's below.
Call before you dig.
SCALE: 1" = 50'

C1.3

DATE	12/24/14
BY	SEC, INC.
CHECKED	
APPROVED	
PROJECT	WINTERBROOKE MANOR SUBDIVISION
LOCATION	EAGLEVILLE, TENNESSEE

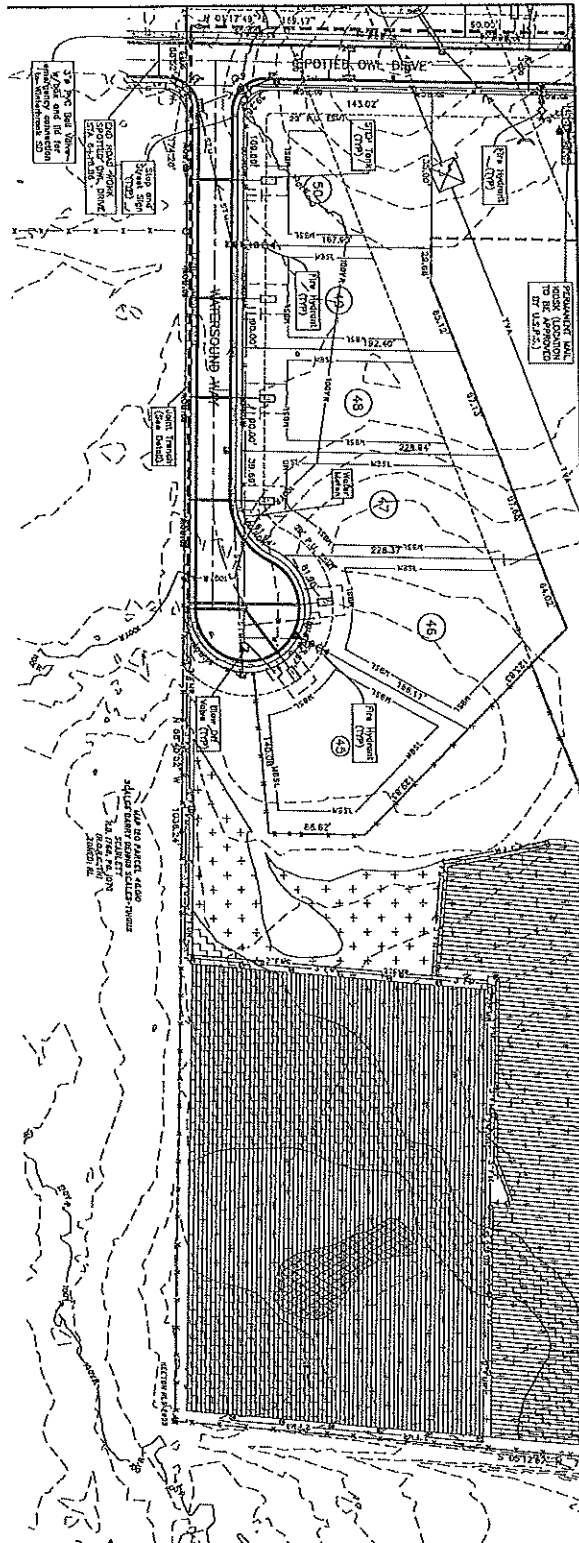
Winterbrooke Manor Subdivision
Preliminary Plat
Eagleville, Tennessee



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 LANDSCAPE ARCHITECTS
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 PHONE: (615) 251-7700 • FAX: (615) 251-7707
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 EAGLEVILLE, TENNESSEE

This site is shown as these conditions and they are intended to provide a general overview of design options and plans. It is the site engineer's responsibility to verify the accuracy of the site information and to provide the necessary data to the client. The site engineer will be held responsible for any errors or omissions in the design and for any damage to property or persons resulting from the use of this information. The site engineer is not responsible for any damage to property or persons resulting from the use of this information.

Matchline Sheet C1.2B



Matchline Sheet C1.3

Note:
See CUD Water design for construction of water main.

Know what's below,
Call before you dig.

SCALE: 1" = 50'

0 50' 100'

DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
CONCRETE DRIVE	1	LINEAL FOOT	150.00	150.00
ASPHALT DRIVE	1	LINEAL FOOT	100.00	100.00
CONCRETE SIDEWALK	1	LINEAL FOOT	75.00	75.00
ASPHALT SIDEWALK	1	LINEAL FOOT	50.00	50.00
CONCRETE CURB	1	LINEAL FOOT	40.00	40.00
ASPHALT CURB	1	LINEAL FOOT	30.00	30.00
CONCRETE DRIVE	1	LINEAL FOOT	150.00	150.00
ASPHALT DRIVE	1	LINEAL FOOT	100.00	100.00
CONCRETE SIDEWALK	1	LINEAL FOOT	75.00	75.00
ASPHALT SIDEWALK	1	LINEAL FOOT	50.00	50.00
CONCRETE CURB	1	LINEAL FOOT	40.00	40.00
ASPHALT CURB	1	LINEAL FOOT	30.00	30.00
CONCRETE DRIVE	1	LINEAL FOOT	150.00	150.00
ASPHALT DRIVE	1	LINEAL FOOT	100.00	100.00
CONCRETE SIDEWALK	1	LINEAL FOOT	75.00	75.00
ASPHALT SIDEWALK	1	LINEAL FOOT	50.00	50.00
CONCRETE CURB	1	LINEAL FOOT	40.00	40.00
ASPHALT CURB	1	LINEAL FOOT	30.00	30.00

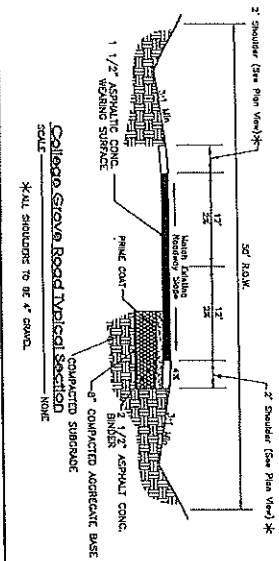
SEC, Inc. SITE ENGINEERING CONSULTANTS
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 LANDSCAPE ARCHITECTURE
 150 MIDWAY & TENNESSEE BOULEVARD, MEMPHIS, TENNESSEE 38112
 PHONE: (901) 530-7901 FAX: (901) 530-7902
 E-MAIL: SERVICE@SEC-CIVIL.COM
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Legend:

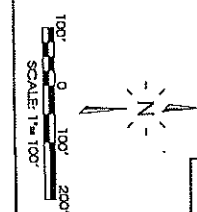
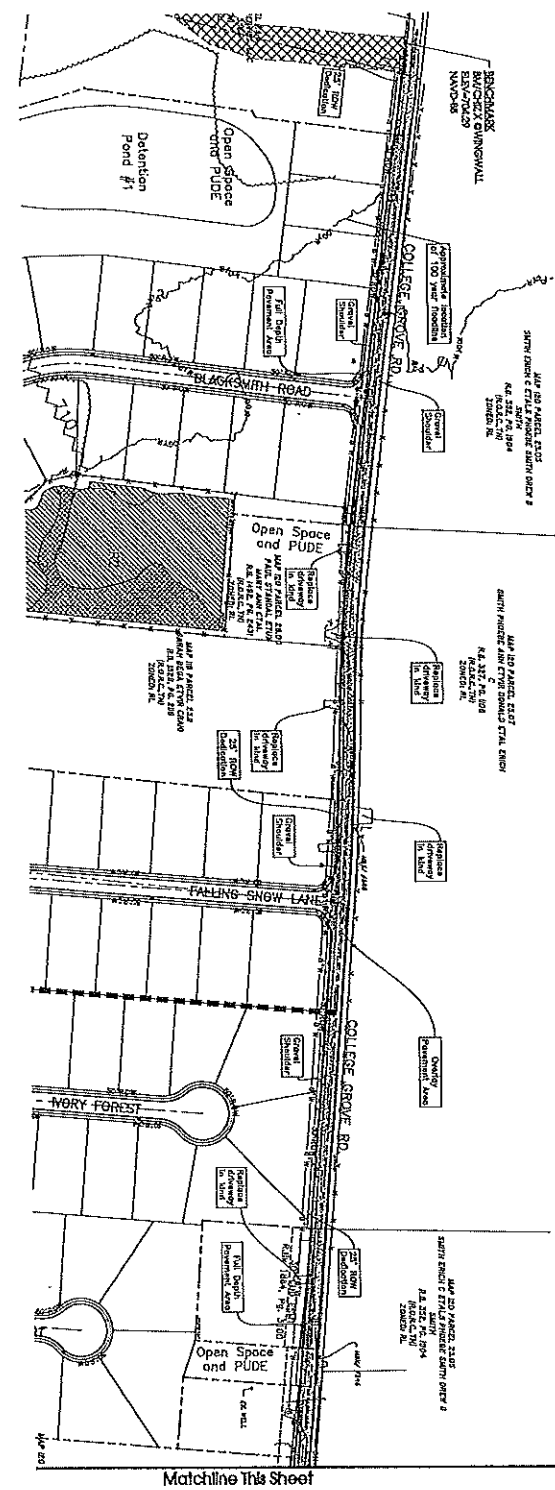
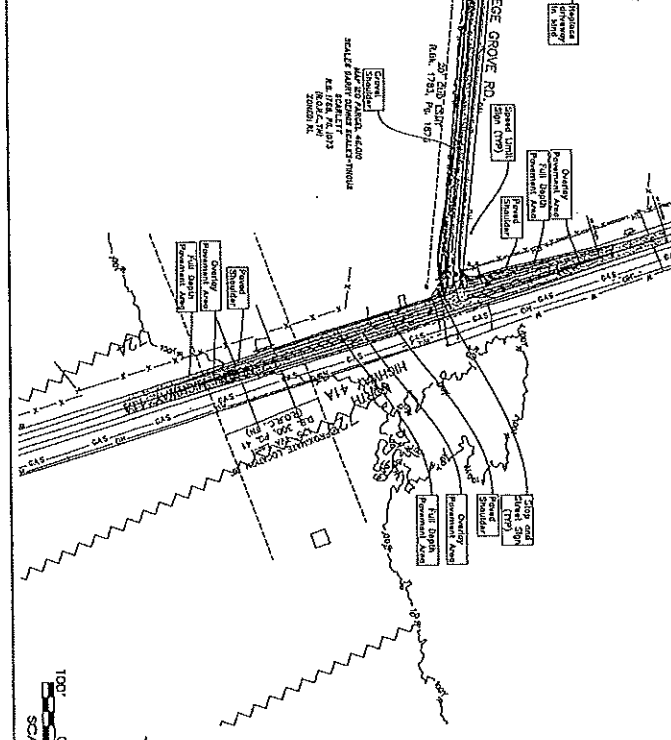
- CONCRETE DRIVE
- ASPHALT DRIVE
- CONCRETE SIDEWALK
- ASPHALT SIDEWALK
- CONCRETE CURB
- ASPHALT CURB
- CONCRETE DRIVE
- ASPHALT DRIVE
- CONCRETE SIDEWALK
- ASPHALT SIDEWALK
- CONCRETE CURB
- ASPHALT CURB

Winterbrooke Manor Subdivision
 Preliminary Plat
 Eagleville, Tennessee

Preliminary Plat
 C1.4



College Grove Road Typical Section
SCALE: 1"=4' ROAD
SCALE: 1"=8' SIDEWALK



Know what's below.
Call before you dig.



NO.	DESCRIPTION	DATE
1	PRELIMINARY PLAT	11/2/2014
2	OFFSITE ROAD IMPROVEMENTS OVERALL	11/2/2014

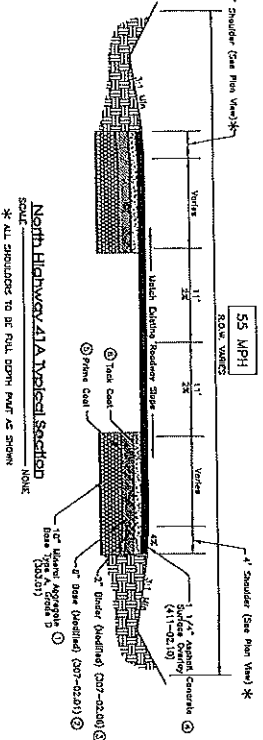
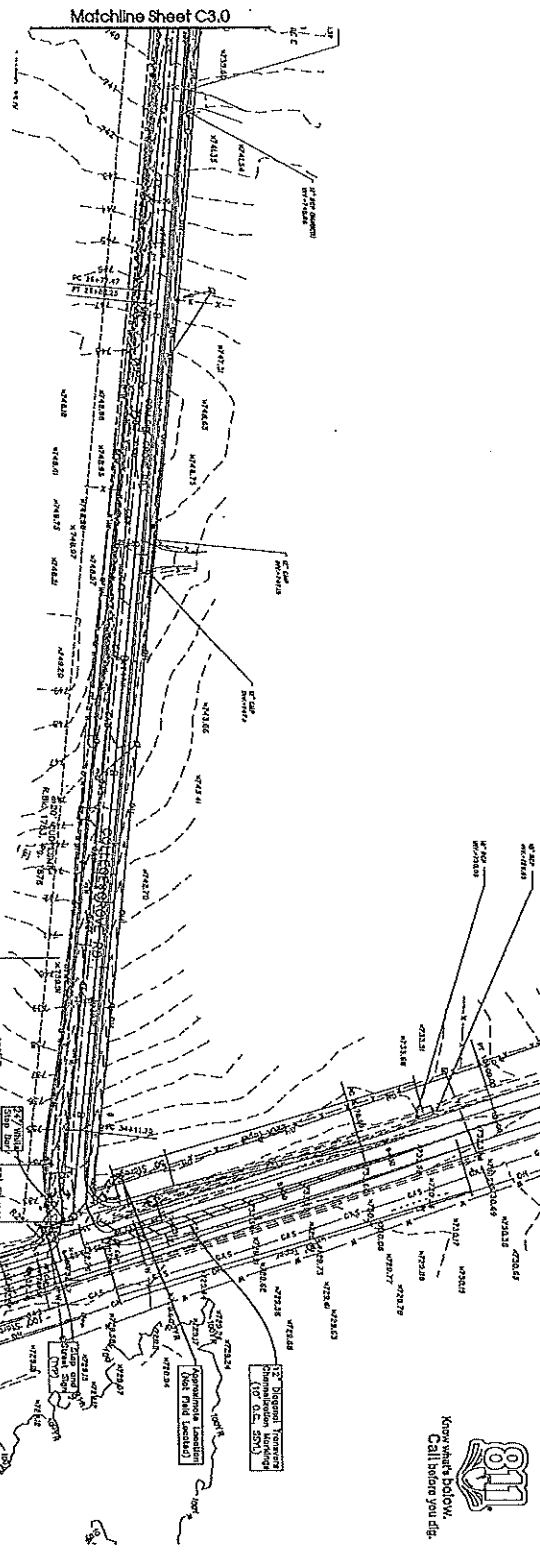
NO.	DESCRIPTION	DATE
1	PRELIMINARY PLAT	11/2/2014
2	OFFSITE ROAD IMPROVEMENTS OVERALL	11/2/2014

Winterbrooke Manor Subdivision
Preliminary Plat
Eagleville, Tennessee



SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

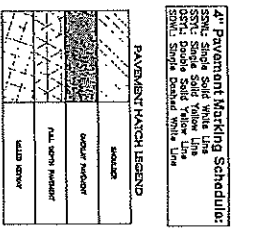
150 HENDRIX TENNESSEE BOULEVARD, SUITE 200, EAGLEVILLE, TENNESSEE 37119
PHONE: (615) 890-7700 FAX: (615) 890-7707
FOR FURTHER INFORMATION CONTACT THE ENGINEER IN WRITTEN CONSENT OF SEC, INC.



- Note:**
1. Spray thermoplastic striping to be used for all proposed markings of this intersection.
 2. There is no increase in the GSO storm within the TDOT R.O.W.
 3. Contractor shall top coat North Highway 41A from station 0+00 to station 10+00 upon completion of construction of improvements shown.
 4. Geotechnical Engineer shall be on-site during construction of Inter-lane improvements.
 5. This Intersection meets Intersection sight distance.
 6. Overlay North Highway 41A for the length of the project.

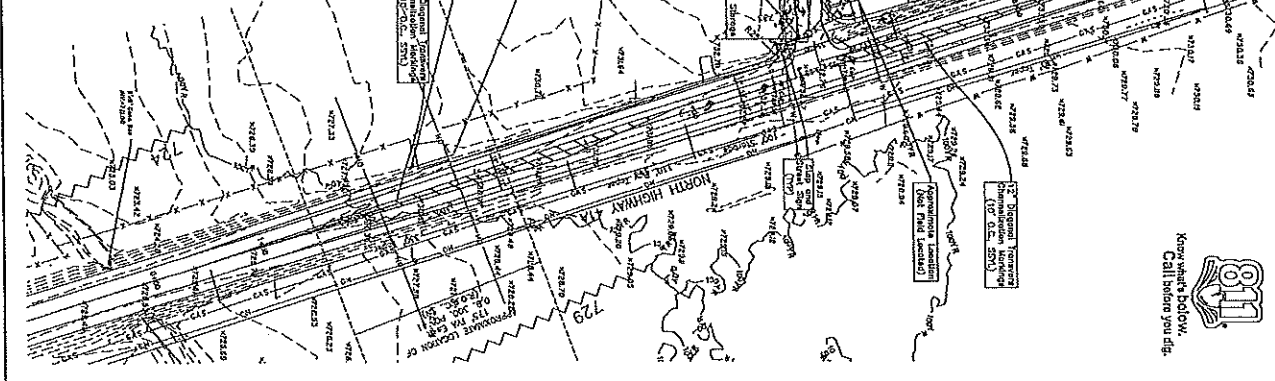
TDOT REFERENCE DRAWINGS

Number	Description
D-1001	General Notes
D-1002	Right-of-Way
D-1003	Grading
D-1004	Drainage
D-1005	Structures
D-1006	Signage
D-1007	Lighting
D-1008	Utility
D-1009	Survey
D-1010	Construction Methods
D-1011	Materials
D-1012	Quality Control
D-1013	Construction Safety
D-1014	Construction Management
D-1015	Construction Inspection
D-1016	Construction Reporting
D-1017	Construction Closeout
D-1018	Construction Maintenance
D-1019	Construction Safety
D-1020	Construction Management
D-1021	Construction Inspection
D-1022	Construction Reporting
D-1023	Construction Closeout
D-1024	Construction Maintenance
D-1025	Construction Safety
D-1026	Construction Management
D-1027	Construction Inspection
D-1028	Construction Reporting
D-1029	Construction Closeout
D-1030	Construction Maintenance



TDOT PAVEMENT LEGEND

Symbol	Description
Symbol	Gravel
Symbol	Gravel/Asphalt
Symbol	Full Depth Rebound
Symbol	Asphalt
Symbol	Gravel



Legend:

Symbol	Description
Symbol	Proposed Road
Symbol	Proposed Lane
Symbol	Proposed Shoulder
Symbol	Proposed Easement
Symbol	Proposed Utility
Symbol	Proposed Structure
Symbol	Proposed Signage
Symbol	Proposed Lighting
Symbol	Proposed Survey
Symbol	Proposed Construction Methods
Symbol	Proposed Materials
Symbol	Proposed Quality Control
Symbol	Proposed Construction Safety
Symbol	Proposed Construction Management
Symbol	Proposed Construction Inspection
Symbol	Proposed Construction Reporting
Symbol	Proposed Construction Closeout
Symbol	Proposed Construction Maintenance
Symbol	Proposed Construction Safety
Symbol	Proposed Construction Management
Symbol	Proposed Construction Inspection
Symbol	Proposed Construction Reporting
Symbol	Proposed Construction Closeout
Symbol	Proposed Construction Maintenance

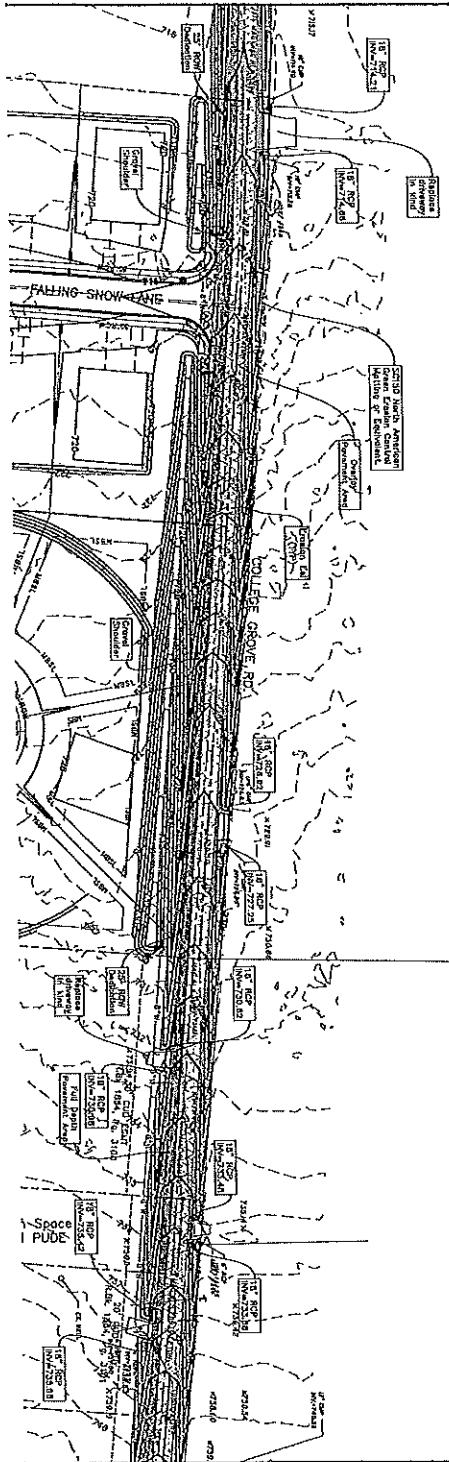
Winterbrooke Manor Subdivision Preliminary Plat

Eagleville, Tennessee

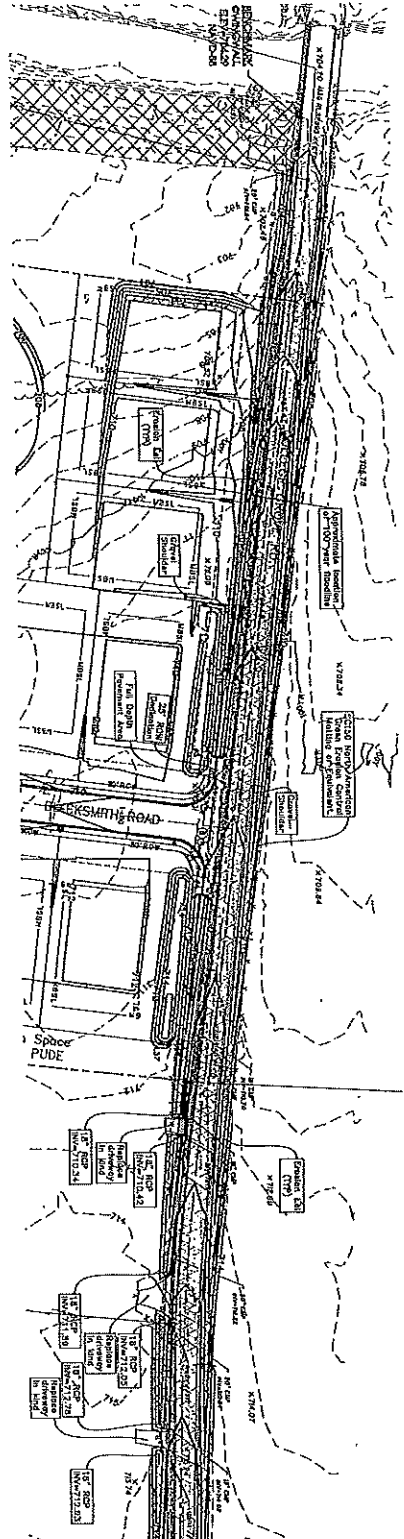
SEC, Inc SITE ENGINEERING CONSULTANTS

650 MIDDLE TENNESSEE BOULEVARD, MEMPHIS, TENNESSEE 38120
 PHONE: (901) 505-1000 FAX: (901) 505-1001
 NO PORTION OF THIS PLAN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF SEC, INC.

Matchline This Sheet



Matchline Sheet C3.1



Matchline This Sheet



Know what's below. Call before you dig.

Legend:		
	EXISTING CONCRET	ROADWAY
	PROPOSED CONCRET	ROADWAY
	EXISTING ASPHALT	ROADWAY
	PROPOSED ASPHALT	ROADWAY
	EXISTING GRAVEL	ROADWAY
	PROPOSED GRAVEL	ROADWAY
	EXISTING DIRT	ROADWAY
	PROPOSED DIRT	ROADWAY
	EXISTING SIDEWALK	
	PROPOSED SIDEWALK	
	EXISTING DRIVEWAY	
	PROPOSED DRIVEWAY	
	EXISTING UTILITY	
	PROPOSED UTILITY	
	EXISTING ELEC	
	PROPOSED ELEC	
	EXISTING WATER	
	PROPOSED WATER	
	EXISTING SEWER	
	PROPOSED SEWER	
	EXISTING GAS	
	PROPOSED GAS	
	EXISTING FIBER	
	PROPOSED FIBER	
	EXISTING TREE	
	PROPOSED TREE	
	EXISTING FENCE	
	PROPOSED FENCE	
	EXISTING SIGN	
	PROPOSED SIGN	
	EXISTING LIGHT	
	PROPOSED LIGHT	

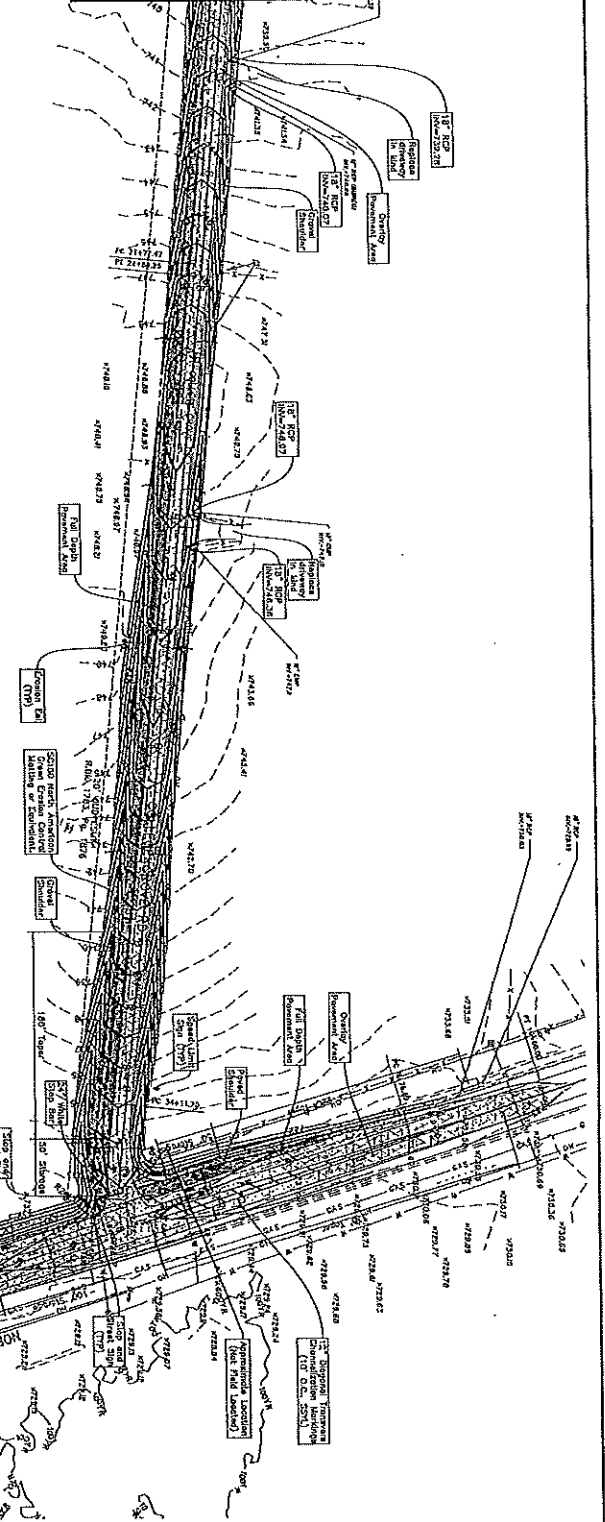
PROJECT:	Winterbrooke Manor Subdivision Preliminary Plat
CLIENT:	SEC, Inc.
DATE:	11/7/2014
SCALE:	1" = 50'
SHEET:	C3.2

Winterbrooke Manor Subdivision Preliminary Plat
 Eagleville, Tennessee



SEC, Inc. SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 650 MIDTLE TENNESSEE BOULEVARD, SUITE 3112B, MURFREESBORO, TENNESSEE 37132
 PHONE: (615) 891-4500 FAX: (615) 891-4507
 NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE EXPRESS WRITTEN CONSENT OF SEC, INC.
 PROJECT NO. E-2014-034
 THE USE OF THIS PLAN BY ANY OTHER PARTY IS PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE USE OF THIS PLAN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EASEMENTS AND RIGHTS-OF-WAY FROM ALL APPLICABLE OWNERS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EASEMENTS AND RIGHTS-OF-WAY FROM ALL APPLICABLE OWNERS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EASEMENTS AND RIGHTS-OF-WAY FROM ALL APPLICABLE OWNERS.

Matchline Sheet C3.0

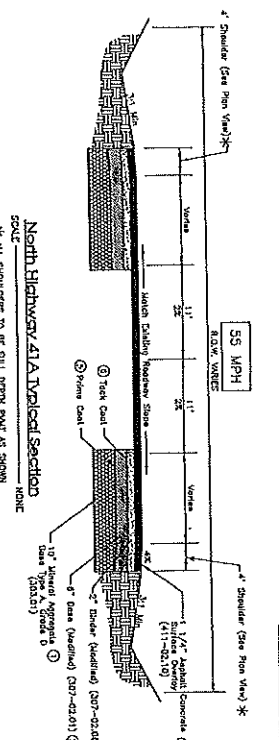


NO.	DESCRIPTION	AMOUNT	UNIT	TOTAL
1	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
2	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
3	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
4	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
5	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
6	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
7	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
8	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
9	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
10	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500

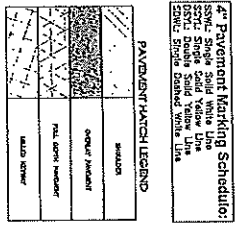
Note:
 1. Slope thermostatic matting to be used for all proposed roadways of this intersection.
 2. There is no increase in the ASD storm within the TDOT ROW.
 3. Contractor shall top coat North Highway 41A from station 41+00 to station 41+500 upon completion of construction of proposed storm.
 4. Geotechnical Engineer shall be on-site during construction of turn lane improvements.
 5. This intersection must be constructed light structures.
 6. Overlay North Highway 41A for the length of the project.

DATE	DESCRIPTION	BY	CHKD.
11/11/2011	ISSUED FOR PERMIT	W. J. WILSON	C. R. WILSON
11/11/2011	REVISED FOR PERMIT	W. J. WILSON	C. R. WILSON
11/11/2011	REVISED FOR PERMIT	W. J. WILSON	C. R. WILSON
11/11/2011	REVISED FOR PERMIT	W. J. WILSON	C. R. WILSON
11/11/2011	REVISED FOR PERMIT	W. J. WILSON	C. R. WILSON
11/11/2011	REVISED FOR PERMIT	W. J. WILSON	C. R. WILSON
11/11/2011	REVISED FOR PERMIT	W. J. WILSON	C. R. WILSON
11/11/2011	REVISED FOR PERMIT	W. J. WILSON	C. R. WILSON
11/11/2011	REVISED FOR PERMIT	W. J. WILSON	C. R. WILSON
11/11/2011	REVISED FOR PERMIT	W. J. WILSON	C. R. WILSON

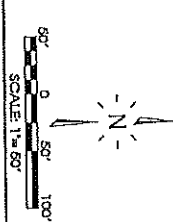
NO.	DESCRIPTION	AMOUNT	UNIT	TOTAL
1	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
2	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
3	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
4	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
5	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
6	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
7	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
8	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
9	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
10	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500



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4	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
5	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
6	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
7	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
8	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
9	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
10	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500



DOT PAVEMENT LEGEND



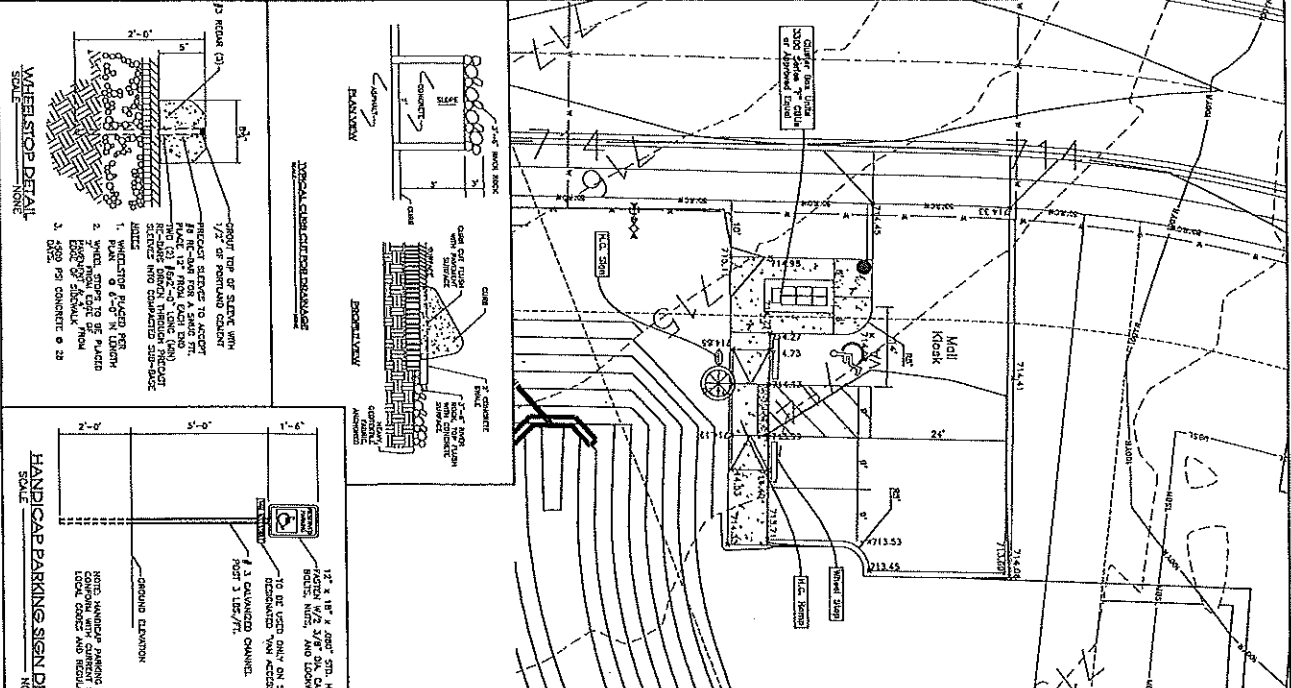
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2	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
3	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
4	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
5	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
6	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
7	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
8	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
9	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500
10	1/2" ASPHALT CONCRETE	12,500	SQ. YD.	12,500



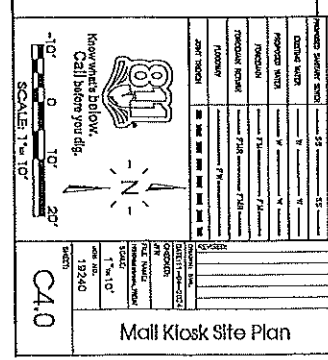
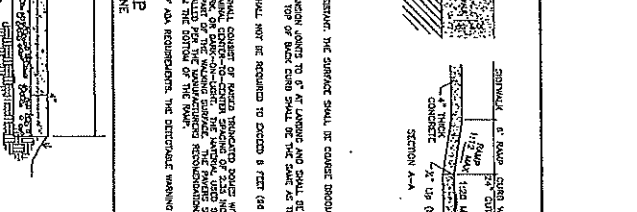
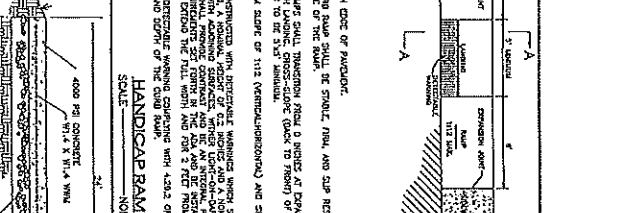
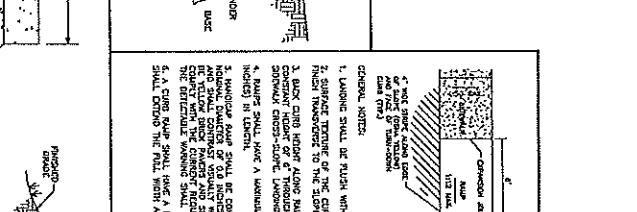
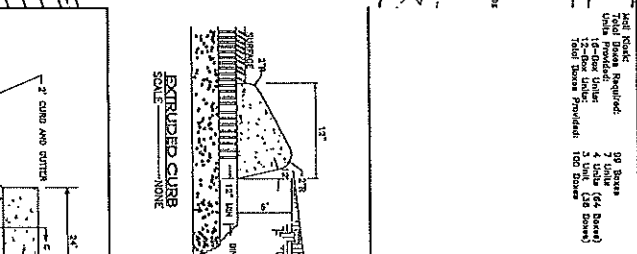
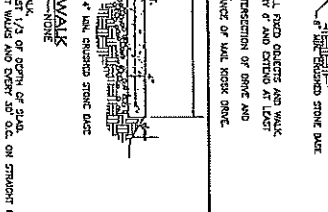
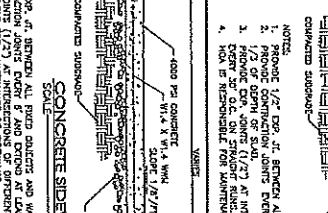
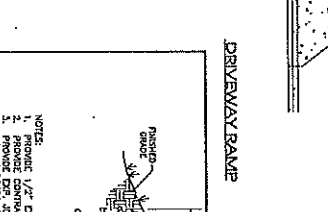
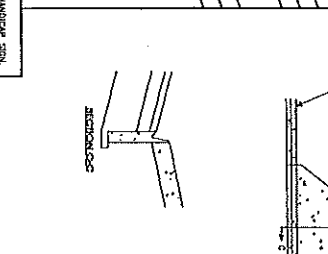
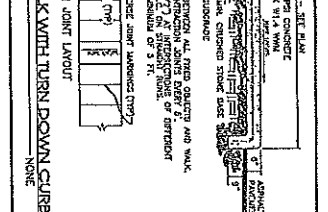
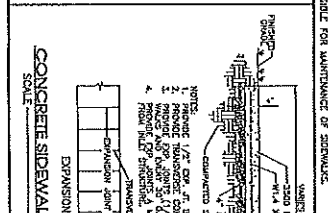
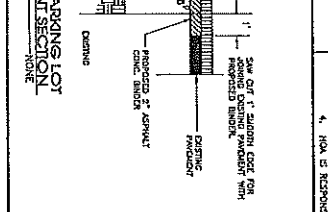
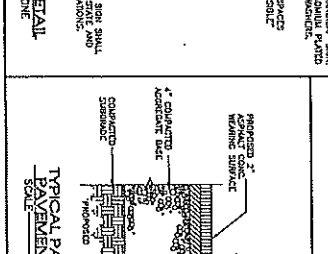
SEC, Inc SITE ENGINEERING CONSULTANTS
 ENGINEERING SURVEYING - LAND PLANNING
 LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD - MEMPHIS, TENNESSEE 38117
 PHONE (901) 500-2900 FAX (901) 500-2901
 WWW.SEC-INC.COM
 NO PART OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF SEC, INC.

Offsite Road Improvements
 C3.3
 1"=50'
 12340

Winterbrooke Manor Subdivision
 Preliminary Plat
 Eagleville, Tennessee



- Mail Kiosk
 98 Boxes
 4 Units (64 Boxes)
 12-Box Units
 100 Boxes
 100 Boxes

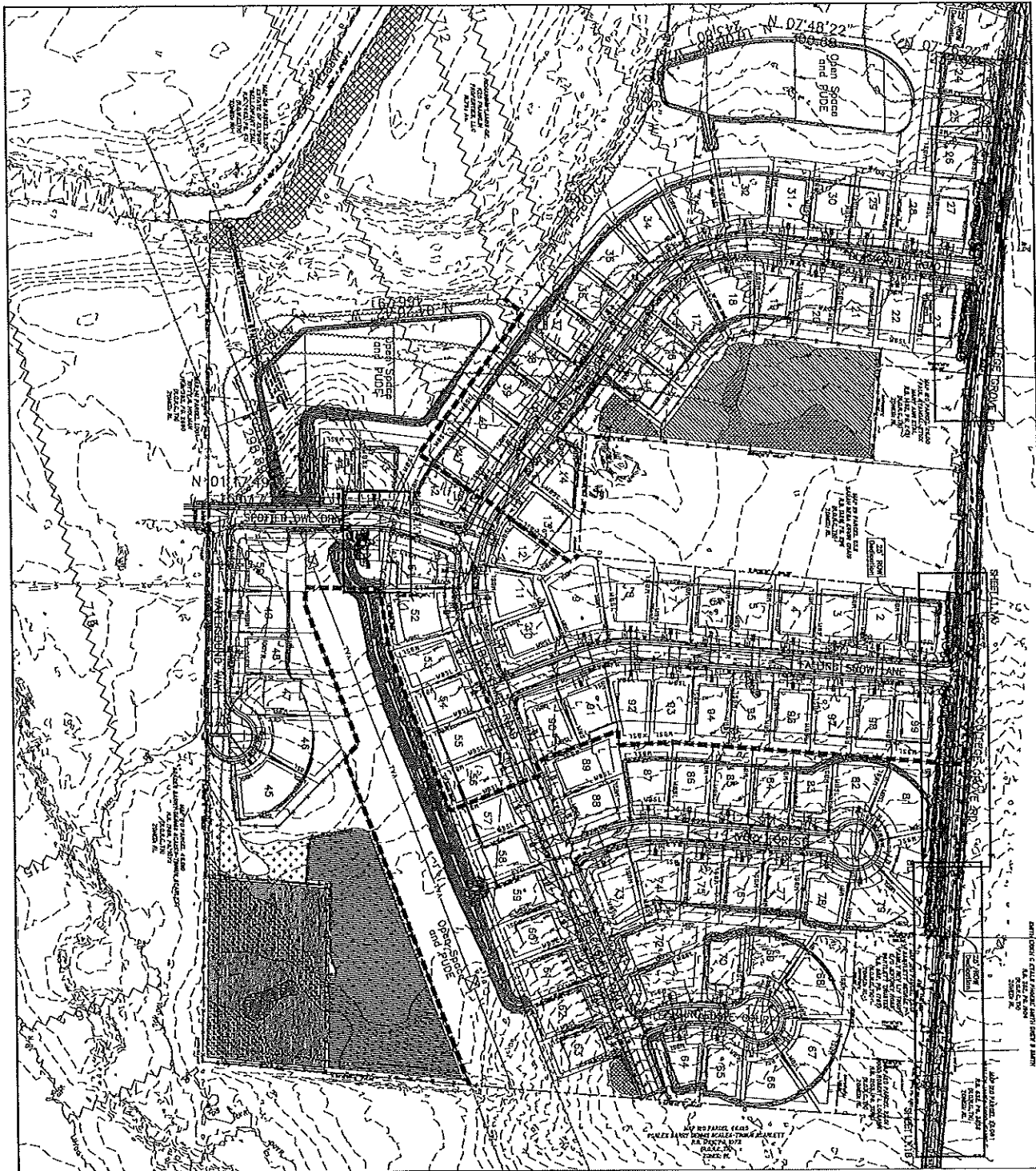


Item	Description	Quantity	Notes
1	CONCRETE SIDEWALK	1000	4" CONC. ON 4" SAND
2	CONCRETE SIDEWALK WITH TURN DOWN CURB	100	4" CONC. ON 4" SAND
3	DRIVEWAY RAMP	100	4" CONC. ON 4" SAND
4	HANDICAP RAMP	100	4" CONC. ON 4" SAND
5	EXTRUDED CURB	100	4" CONC. ON 4" SAND
6	TYPICAL CURB AND OUTLET	100	4" CONC. ON 4" SAND
7	WATER STOP DETAIL	100	4" CONC. ON 4" SAND
8	HANDICAP PARKING SIGN DETAIL	100	4" CONC. ON 4" SAND
9	TYPICAL PARKING LOT PAVEMENT SECTION	100	4" CONC. ON 4" SAND
10	CONCRETE SIDEWALK WITH TURN DOWN CURB	100	4" CONC. ON 4" SAND

Legend:

- CONCRETE SIDEWALK
- CONCRETE SIDEWALK WITH TURN DOWN CURB
- DRIVEWAY RAMP
- HANDICAP RAMP
- EXTRUDED CURB
- TYPICAL CURB AND OUTLET
- WATER STOP DETAIL
- HANDICAP PARKING SIGN DETAIL
- TYPICAL PARKING LOT PAVEMENT SECTION
- CONCRETE SIDEWALK WITH TURN DOWN CURB

SEC, Inc. SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 810 N. W. 10th Street, Suite 100, Winterbrooke, TN 37189
 PHONE: (615) 632-7204 FAX: (615) 632-7205
 10 HAYDEN DRIVE, SUITE 100, WINTERBROOKE, TN 37189
 PHONE: (615) 632-7204 FAX: (615) 632-7205



**WINTERBROOKE
MANOR SUBDIVISION
LANDSCAPE PLAN**

PLAN NOTES:

1. THE LANDSCAPE PLAN SHALL BE CONSIDERED AS PART OF THE SUBDIVISION PLAT AND SHALL BE SUBJECT TO THE SAME REVISIONS AND AMENDMENTS AS THE PLAT.
2. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF EAGLEVILLE, TENNESSEE, LANDSCAPE MAINTENANCE ORDINANCE.
3. ALL PLANTING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF EAGLEVILLE, TENNESSEE, LANDSCAPE MAINTENANCE ORDINANCE.
4. ALL PLANTING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF EAGLEVILLE, TENNESSEE, LANDSCAPE MAINTENANCE ORDINANCE.
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10. ALL PLANTING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF EAGLEVILLE, TENNESSEE, LANDSCAPE MAINTENANCE ORDINANCE.

811
Know what's below.
Call before you dig.

100' 0 100' 200'

SCALE 1" = 100'

DATE	1/10
SCALE	1" = 100'
PROJECT	Winterbrooke Manor Subdivision
LOCATION	Eagleview, Tennessee
DESIGNED BY	[Signature]
CHECKED BY	[Signature]
DATE	1/10

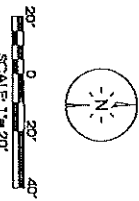
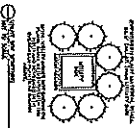
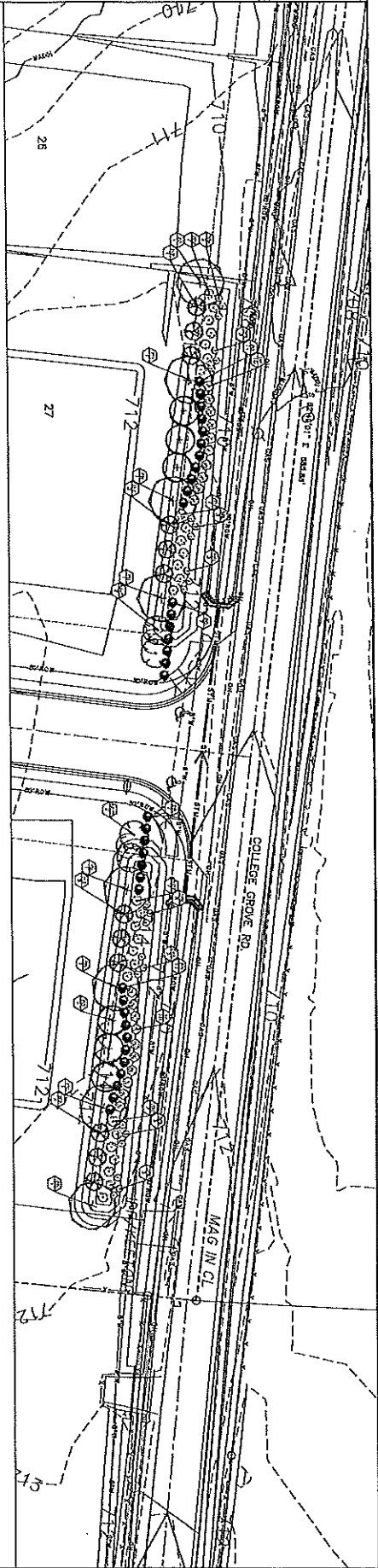
**Winterbrooke Manor Subdivision
Preliminary Plat
Eagleview, Tennessee**



SBC Inc. SITE ENGINEERING CONSULTANTS

ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

110 MIDDLE TENNESSEE BOULEVARD, MURFREESBORO, TENNESSEE 37132
PHONE: (615) 872-3701 WWW.SBC-CIVIL.COM FAX: (615) 872-3702
NO PORTION OF THESE SERVICES MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF SBC INC.



PROJECT	DATE	1/20/20
	NO. 13240	
DRAWN BY	DATE	1/20/20
	NO.	
CHECKED BY	DATE	
	NO.	
APPROVED BY	DATE	
	NO.	
Landscape Plan		

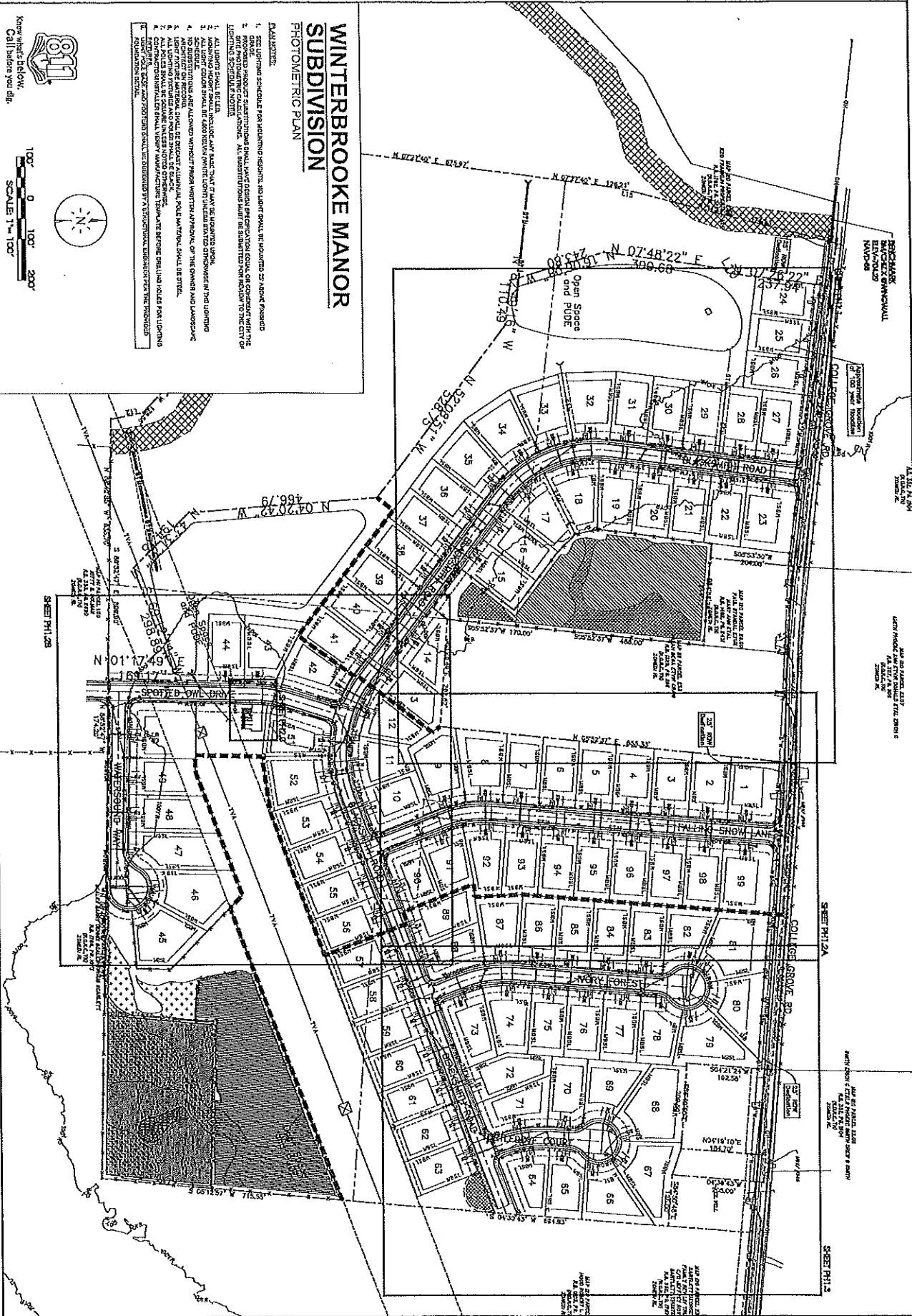
Winterbrooke Manor Subdivision
Preliminary Plat
 Eagleville, Tennessee



SPC Inc. SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 252 MIDBLE TENNESSEE BOULEVARD MURFRESBORO, TENNESSEE 37132
 PHONE: (615) 890-7921 WWW.SPECIVIL.COM FAX: (615) 893-2547
 A DIVISION OF THE DIVISION OF PROFESSIONAL ENGINEERS AND SURVEYORS OF THE STATE OF TENNESSEE
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This site plan shows the proposed site layout and is intended to be used in conjunction with the site plan and site plan approval. It is not intended to be used as a final design or construction document. The user of this site plan is responsible for ensuring that the site plan is used in accordance with the applicable laws and regulations. The user of this site plan is responsible for ensuring that the site plan is used in accordance with the applicable laws and regulations.

L12



WINTERBROOKE MANOR SUBDIVISION PHOTOMETRIC PLAN

- REMARKS:**
1. ALL LOTTING BEHINDERS FOR ADJACENT AREAS, NO LOT SHALL BE LOCATED TO ADJACENT PHASES.
 2. PROPOSED LOT BEHINDERS SHALL HAVE PROPOSED IMPROVEMENTS EQUAL OR SUPERIOR TO THE ADJACENT PHASE'S BEHINDERS.
 3. ALL LOTS SHALL BE SET.
 4. IMPROVING LOT BEHINDERS SHALL BE SET TO MATCH THE ADJACENT PHASE'S BEHINDERS.
 5. IMPROVING LOT BEHINDERS SHALL BE SET TO MATCH THE ADJACENT PHASE'S BEHINDERS.
 6. IMPROVING LOT BEHINDERS SHALL BE SET TO MATCH THE ADJACENT PHASE'S BEHINDERS.
 7. IMPROVING LOT BEHINDERS SHALL BE SET TO MATCH THE ADJACENT PHASE'S BEHINDERS.
 8. IMPROVING LOT BEHINDERS SHALL BE SET TO MATCH THE ADJACENT PHASE'S BEHINDERS.
 9. IMPROVING LOT BEHINDERS SHALL BE SET TO MATCH THE ADJACENT PHASE'S BEHINDERS.
 10. IMPROVING LOT BEHINDERS SHALL BE SET TO MATCH THE ADJACENT PHASE'S BEHINDERS.

100' 0 100' 200'
SCALE: 1" = 100'

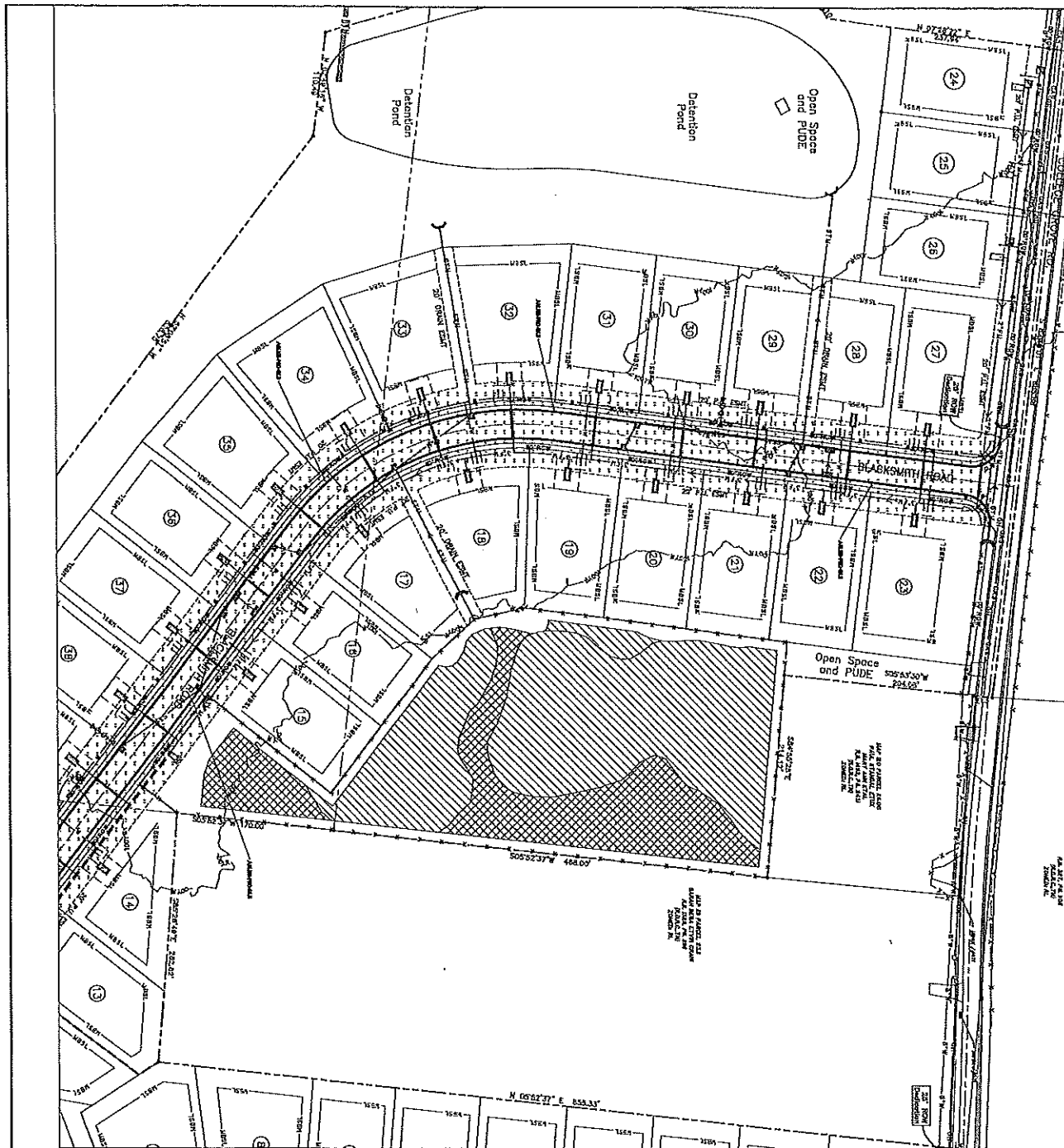
PH 1.0
10240
Photometric Plan

Winterbrooke Manor Subdivision
Preliminary Plat
Eagleville, Tennessee

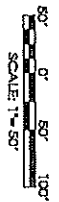


SPC Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
855 MIDDLE TENNESSEE BOULEVARD, SUITE 200, TENNESSEE 37129
PHONE: (615) 850-7773 WWW.SPC-CIVIL.COM FAX: (615) 850-2593
A DIVISION OF THE ENGINEERING AND PROFESSIONAL SERVICES OF SPC INC.
SPOUSE: SPC INC. 10/15/2014

The work shown on these drawings was prepared by the engineer or architect employed by the engineer or architect. It is the responsibility of the engineer or architect to ensure that the drawings are prepared in accordance with the applicable laws and regulations. The engineer or architect shall not be responsible for any errors or omissions on these drawings. The site is to be constructed in accordance with the approved plat.



Know what's below.
Call before you dig.



PH 1.1	1" = 50'
PHOTOMETRIC PLAN	DATE: 11-20-2011
	DRAWN BY: [Name]
	CHECKED BY: [Name]
	SCALE: 1" = 50'
	PROJECT: [Name]
	SHEET: [Number]

Winterbrooke Manor Subdivision Preliminary Plat Eagleville, Tennessee

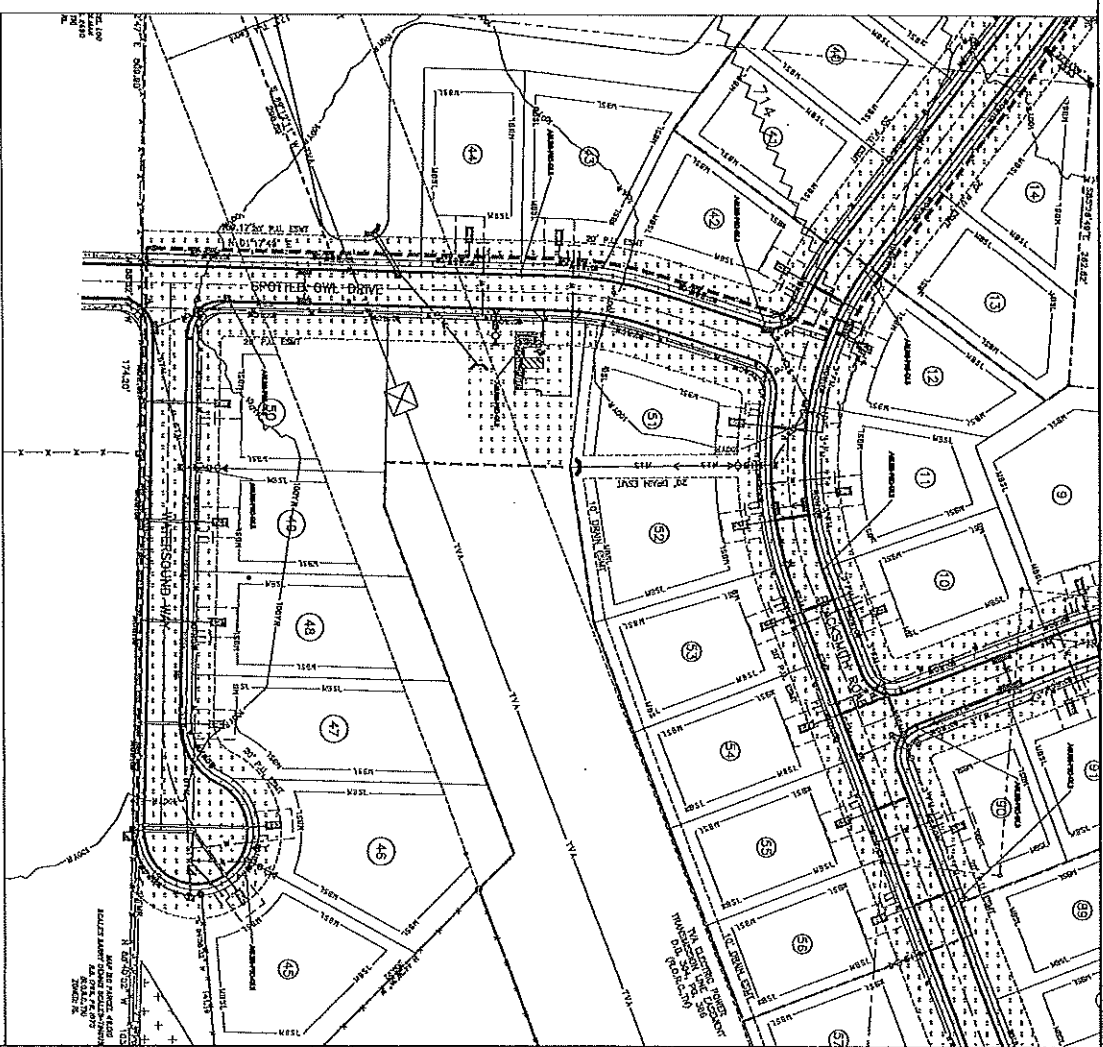


SEC, Inc. SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 855 MIDDLE TENNESSEE BOULEVARD, SUITE 200, EAGLEVILLE, TENNESSEE 37122
 PHONE: (615) 670-1701 FAX: (615) 670-1707
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SHEET PH 1.2A



SHEET PH 1.2B



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Call before you dig.



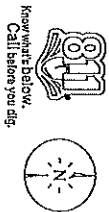
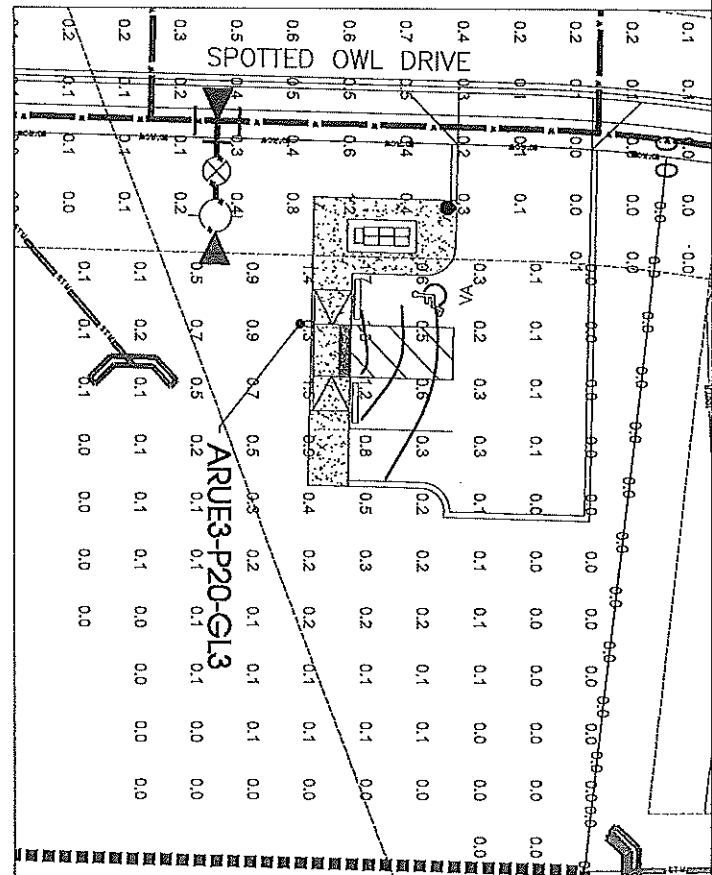
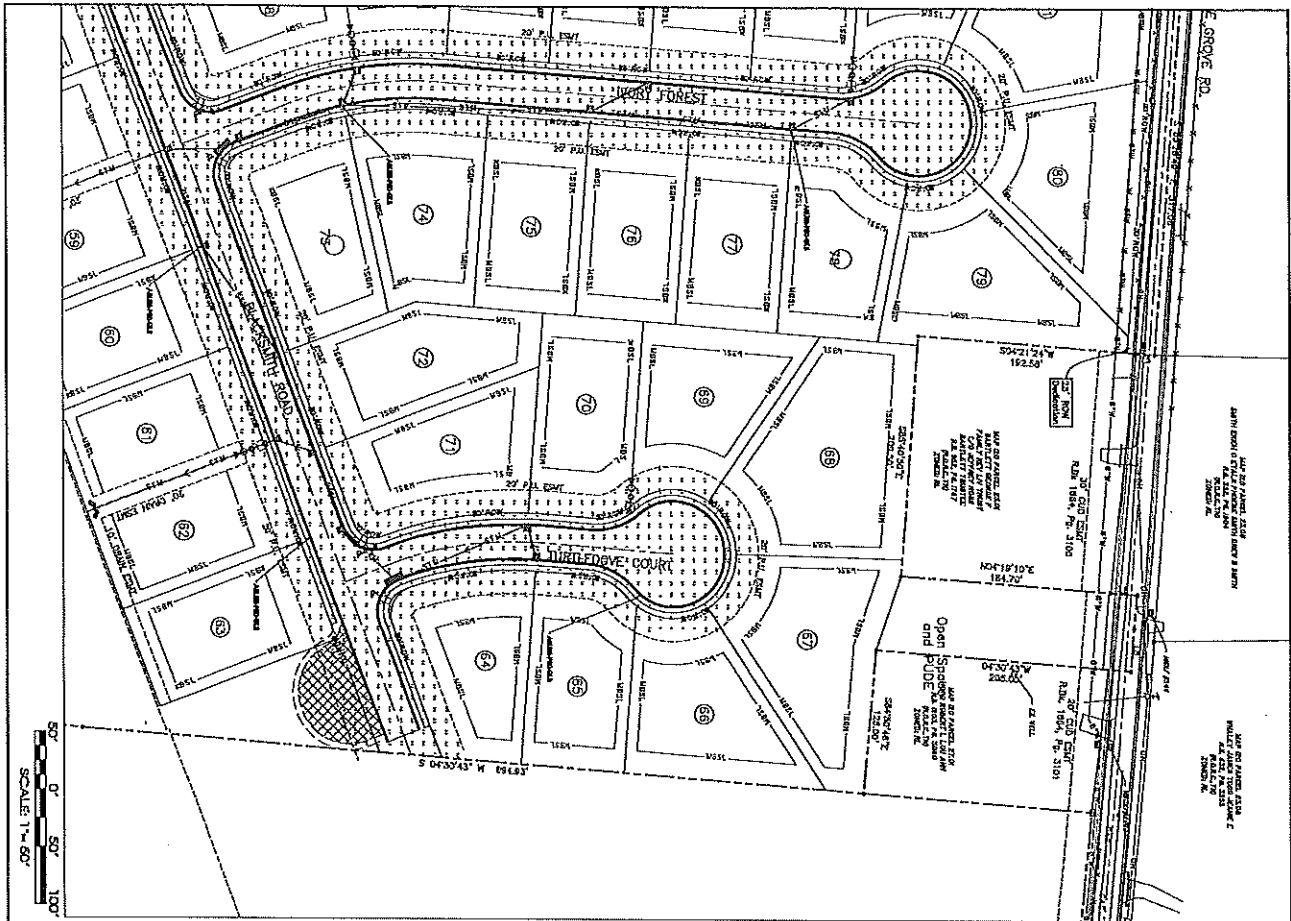

PH 1.2

Photometric Plan

Winterbrooke Manor Subdivision
Preliminary Plat
Eagleville, Tennessee



SBC Inc. SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD, MEMPHIS, TENNESSEE 38103
 PHONE: (901) 599-7300 WWW.SBC-CIVIL.COM FAX: (901) 595-2503
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PH 1.3	PER PLAN	DATE	12/24/0
Photometric Plan			

Winterbrooke Manor Subdivision
 Preliminary Plat
 Eagleville, Tennessee



SPC Inc. SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 855 WINDLE TENNESSEE BOULEVARD • MURFREESBORO, TENNESSEE 37132
 PHONE: (615) 192-1921 • WWW.SPECIVIL.COM • FAX: (615) 192-1951
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE EXPRESS WRITTEN CONSENT OF S.E.C., INC.
 DATE: 12/24/00

Staff Notes
Winterbrook Manor
12/05/2024

1. The preliminary plat and future plats are all contingent on Ordinance 2023-010 which created the regulations for this particular PRD.
2. Create a table showing road frontage and width for each lot.
3. Setbacks noted correctly on title page. However on Typical Lot diagram, the corner lot is not shown with two frontages as required.
4. As-Builts will be required for each structure prior to vertical construction.
5. All lots in the floodplain will be required to establish a BFE at final plat stage and submit a FEMA elevation certificate for permitting.
6. Stop sign locations to be coordinated with Chief of Police.
7. Speed limit to be set by Council.
8. Decorative street signs required. Signs shown in plan are typical green/white.
9. On C1.0 what does "STEP facilities owned by property owner" mean?
10. Typical Section Local Road – shows 14 feet lanes. City requires 12 feet lanes. Staff does not recommend wider lanes.
11. Lot 14 needs to show setbacks to ensure that it is understood there is a rear lot line.
12. Need detail of detention pond. Riprap?
13. Lighting needs adjustment. Too many areas are left at 0 lumens. Dead light spots include lots: 28/22 to 1/19, 33/18 to 33/18, 38/open to 14/open, 5/95 to 7/93, 8/92 to 10/90, 44/ - /50, 49/ to 45/46, 71/64 to 68/67.
14. Staff has not reviewed the Construction Drawings. Not sure why these keep getting submitted before a preliminary plat is approved. However, it has been noted that on the Preliminary Plat there are fire hydrants. On the Construction Drawings, no fire hydrants are noted. Eagleville Subdivision Regulations call for fire hydrants to be installed no more than 1,000 feet apart and within 500 feet of any residential lot. Per TDEC requirements, fire hydrants are not to be placed on water lines that can't produce 500 gpm at 20 psi of pressure. This was an issue with this subdivision when it was proposed in the County. Staff had been told repeatedly that this was being worked out with adjacent property owners and adequate flow would be provided. On November 27, the applicant sent staff a report that this was not possible. Staff is confounded how something as important as this, and something that has always been required by the Subdivision Regulations, would be left unaddressed. Staff does not support any subdivision that cannot have fire hydrants as required by the Sub Regs and urges applicant to find a way to meet the City's requirements. Sprinkling the houses does not bring this subdivision into compliance.
15. There has still not been submitted any contract proving these lots will have STEP capacity.

RE: 19240 Winterbrooke Preliminary Plat Submittal

From Will Owen <WOwen@griggsandmaloney.com>
Date Wed 12/4/2024 12:50 PM
To Hellyn Riggins <hriggins@eaglevilletn.gov>
Cc Fire Chief Armstrong <firechief@eaglevilletn.gov>

Hellyn and Chief Armstrong,

The latest will serve letter from CUD indicates that they can provide the necessary flows to serve the sprinkler systems that will be installed in each home. Your sub regs call for fire hydrants to be installed no more than 1,000 feet apart and within 500 feet of any residential lot. Per TDEC requirements, fire hydrants are not to be placed on water lines that can't produce 500 gpm at 20 psi of pressure.

My interpretation of the CUD serve letter is that they can provide the flow for the proposed sprinkler systems in each of the houses but not the flow needed to install fire hydrants. The latest construction plan submittal does not include any fire hydrants.

So it comes down to a decision on if the City wants to allow a deviation from the sub regs on the fire hydrant requirement.

I will let the Chief give his opinion on if he thinks the sprinkler systems are an adequate form of fire protection in comparison to fire hydrants.

Regardless of the sprinkler vs hydrant decision, there is sufficient flow for regular, everyday use by all existing and proposed houses as outlined in the CUD serve letter.



GRIGGS & MALONEY, INC.
745 S. CHURCH ST, STE 205
MURFREESBORO, TN 37130

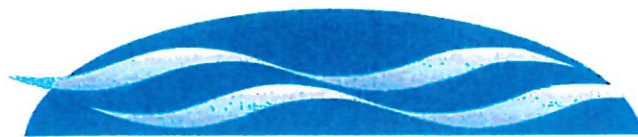
Will Owen, P.E., C.F.M.
Principal & Vice-President
OFFICE: 615-895-8221
FAX: 615-895-0632

WOWEN@GRIGGSANDMALONEY.COM
[www.griggsandmaloney.com]WWW.GRIGGSANDMALONEY.COM

From: Hellyn Riggins <hriggins@eaglevilletn.gov>
Sent: Wednesday, December 4, 2024 12:35 PM
To: Rob Molchan <rmolchan@sec-civil.com>; Will Owen <WOwen@griggsandmaloney.com>
Cc: Fire Chief Armstrong <firechief@eaglevilletn.gov>
Subject: Re: 19240 Winterbrooke Preliminary Plat Submittal

Mine are going out tonight. Sorry but I seem to have caught a cold. I do need to hear from Will and I am concerned about the water pressure. I need to hear from Will on that.

hellyn



CONSOLIDATED UTILITY DISTRICT

Rutherford County, Tennessee

November 17, 2024

Mr. Roger Jenkins
KZO Franklin Properties, LLC
P.O. Box 681709
Franklin, TN 37068

Re: Winterbrooke Manor
Across from 588 College Grove Road, Eagleville, TN
Tax Map 120, Parcels 23.03, 23.10 & 23.12
UPDATED Will Serve Letter – Water Only

Dear Mr. Jenkins,

This “UPDATED Will Serve Letter” supersedes all previous such letters for the property identified above (hereafter “Developer/Development”). This Development lies within the water service area of Consolidated Utility District of Rutherford County (hereafter “the District”). Based on the latest Water Service Availability Request provided to the District, your proposed project will create 99 single-family, residential lots. The District is advised that the project will be completed in more than one phase. Instead of a fire hydrant requirement a domestic fire sprinkler requirement of 32 gpm at 70 psi was submitted (per an estimate from a fire sprinkler system designer/installer), and no irrigation requirements were submitted or assumed.

The District’s water system currently has an 8-inch water main along College Grove Road that ends at the eastern edge of the Development and will be main point of connection for the Development. **The current infrastructure should meet the domestic water and fire protection demands (specifically residential fire sprinklers as noted above) of the Development.** Fire protection demands are based on the fire sprinkler requirements submitted. The Developer should verify current requirements with the appropriate local regulating body. If additional fire demands are required, an additional analysis must be completed to determine feasibility and availability of the additional demand before moving forward with the project. Exact details of the connections and water main size required throughout the Development will be determined in the design phase after construction plans are submitted and reviewed.

Additional analysis was performed to determine if a proposed 8-inch water main across the Scales property (approximately 2,500 feet) connecting the southern end of the Development to the existing 6-inch water main along Highway 41A would provide 500 gpm @ 20 psi in the Development. This proposed water main is illustrated on the map below with yellow highlighting. The result was that the 500 gpm @ 20 psi fire flow cannot be met in that scenario.

The District understands sewer service for this development will be provided by a proposed decentralized wastewater system. The Developer should verify availability and requirements with the City of Eagleville since they will be the entity that reviews and approves the wastewater system.

No public water improvements and/or extensions shall be approved or installed until all conditions are fulfilled as outlined in the District's Developer's Packet and are subject to payment by Developer of engineering and inspection fees. All water lines/facilities improvements needed to serve the property in question are to be installed by the Developer in accordance with the District's policies and procedures as outlined in the Technical Specifications of the District which can be found on our website or at our office.

This letter is specifically subject to the above conditions and such other terms and conditions as the District may require from time to time or at the time the water line improvements/upgrades are to be implemented and installed according to the District's requirements. This letter is intended only as a matter of "general information" and is not a contract between the parties. The letter shall not be considered an agreement or obligation of the District to provide water service to the Developer. In addition, there are or may be additional terms, requirements, and conditions of the District to provide water service to the Developer which are not set forth or otherwise referred to in this letter.

In addition to the foregoing, this letter and any approval(s) previously granted the Developer by the District shall automatically expire within two (2) years from the date of this letter, unless the District has approved the Developer's Construction Plans (meaning all the District's review comments have been fully addressed and it is ready for "CUD Water Plans" to be prepared) or the District has issued an approved commercial meter application for the site.

Please feel welcome to call or email if you have questions.
Sincerely,



Alan Stuemke, P.E.
Director of Engineering, Consolidated Utility District
PH: 615-225-3311 | Fax: 615-225-3314 | Email: [astuemke@cudrc.com](mailto:astuemke@ cudrc.com)

Pc: Jamie Reed, P.E., SEC, Inc.
Roger Goodson, CUD General Manager
Jimmy Hailey, P.E., James C. Hailey & Company
Jonathan Armstrong, Fire Chief @ City of Eagleville Fire-Rescue

RE: Eagleville - Winterbrooke Manor - Will Serve Letter

From Alan Stuemke <astuemke@ cudrc.com>
Date Fri 12/6/2024 7:56 AM
To Will Owen <WOwen@griggsandmaloney.com>; Hellyn Riggins <hriggins@eaglevilletn.gov>

Good Morning Will & Hellyn,

I got to thinking about this later yesterday. Would you two like to be copied on ALL Will Serve Letters issued for developments within Eagleville's jurisdiction?

Alan Stuemke, P.E.
Director of Engineering
Consolidated Utility District
709 New Salem Hwy., P.O. Box 249
Murfreesboro, TN 37133-0249
PH: 615-225-3311 | Fax: 615-225-3314
Email: astuemke@cudrc.com
Visit Our Web at: www.cudrc.com

"55 Years Serving Rutherford County"



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From: Alan Stuemke
Sent: Thursday, December 5, 2024 3:40 PM
To: Will Owen <WOwen@griggsandmaloney.com>
Cc: Hellyn Riggins <hriggins@eaglevilletn.gov>
Subject: RE: Eagleville - Winterbrooke Manor - Will Serve Letter

Hello Will,
The water utility infrastructure improvements needed to be able to meet the 500 gpm @ 20 psi fire flow requirement is as follows:
Install approximately 7,400 feet of twelve (12) inch water main from College Grove Road south along Highway 41 North to River Eagleville Road.
This will replace an existing six (6) inch water main and connect to an eight (8) inch water main at River Eagleville Road.
Strictly as an order of magnitude the cost estimate for this is \$1.5 M.

However, this same water utility infrastructure improvement is also needed to meet the fire flow requirement for (a) the portion of the Stephenson Farms development (742 West Webb Rd) that is north of the Harpeth River and (b) the Moore Property (3430 Hwy. 41A).

Therefore, if the developers of all three of these subdivisions will work with CUD the cost for that water main can be shared amongst them plus CUD will participate in the cost also since it will benefit the water distribution system as a whole. I've been telling the developers we need to work on a cost sharing agreement but nobody has expressed any interest so far.

For your information I just completed the water service availability request for the Moore Property based on residential fire sprinkles in lieu of fire hydrants. As always their Will Serve Letter will include the sentence "The Developer should verify current requirements with the appropriate local regulating body."

Alan Stuemke, P.E.

Director of Engineering

Consolidated Utility District

709 New Salem Hwy., P.O. Box 249

Murfreesboro, TN 37133-0249

PH: 615-225-3311 | Fax: 615-225-3314

Email: [astuemke@cudrc.com](mailto:astuemke@ cudrc.com)

Visit Our Web at: www.cudrc.com

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From: Will Owen <WOWen@griggsmaloney.com>
Sent: Thursday, December 5, 2024 12:53 PM
To: Alan Stuemke <astuemke@cudrc.com>
Cc: Hellyn Riggins <hriggins@eaglevilletn.gov>
Subject: Eagleville - Winterbrooke Manor - Will Serve Letter

Caution: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe

Alan,

Hope you are doing well.

On behalf of Eagleville, we were hoping to obtain some more information pertaining to the fire protection demands for the proposed Winterbrooke Manor development. We understand the developer submitted a water service availability request letter indicating their intent to utilize sprinklers instead of fire hydrants. The developer provided a copy of your updated will serve letter dated 11/17/2024 (attached) to the City. Thank you for including the sentence "The Developer should verify current requirements with the appropriate local regulating body." in your will serve letters to the developer as the applicant had not indicated to the City their intent to do so until recently.

Eagleville Subdivision Regulations require fire hydrants and do not provide a provision for sprinklers in lieu of hydrants. The Planning Commission would have to approve a deviation from the Sub Regs for the developer to proceed with sprinklers. As such, in an effort to provide accurate information to the Eagleville Planning Commission, do you know what improvements would be needed to your existing system in order to meet fire flow demands (500 gpm @ 20 psi) so hydrants can be installed in the proposed development?

If you also had approximate costs for those improvements that would be helpful but we can put some cost estimates together on our end if you don't have that information readily available.

Thank you in advance for any information you might be able to provide.



GRIGGS & MALONEY, INC.
745 S. CHURCH ST, STE 205
MURFREESBORO, TN 37130

Will Owen, P.E., C.F.M.

Principal & Vice-President

OFFICE: 615-895-8221

FAX: 615-895-0632

WOWEN@GRIGGSANDMALONEY.COM

[www.griggsandmaloney.com]WWW.GRIGGSANDMALONEY.COM

ITEM 7c New Business

Review and Approve Zoning Ordinance No.2024-006 to send to City Council as Recommendation

ORDINANCE NO. 2024-006

AN ORDINANCE TO ADOPT AMENDMENTS TO THE CITY OF EAGLEVILLE, TENNESSEE'S ZONING ORDINANCE, BY AMENDING ORDINANCE 2016-009 (WITH AMENDMENTS THROUGH OCTOBER 2023)

WHEREAS, the Eagleville Municipal Planning Commission has duly recommended to the Eagleville City Council that the Official Zoning Ordinance of Eagleville, Tennessee, be amended as hereinafter described; and,

WHEREAS, the Eagleville City Council has reviewed such recommendation and has conducted a public hearing thereon, hearing thereon.

NOW THEREFORE, BE IT ORDAINED BY THE CITY OF EAGLEVILLE, TENNESSEE, AS FOLLOWS:

That the Official Zoning Ordinance of the City of Eagleville, Tennessee, is hereby amended by to wit:

Article 11 Definitions

Section 2.020

Strike: Convenience Sales.

Add: Convenience Commercial Uses: The retail sales of small convenience items such as toiletries, tobacco, and magazines, and basic grocery items.

Strike: Lot, Depth

Replace with: Lot, Depth: The average distance from the street line of the lot to its rear line, measured in the general direction of the sideline of the lot. In cases of triangular lots where no rear line is established, the back confluence of the two lines of the triangle shall be the point for measuring the required rear line towards the street. Corner lots where no rear line is established shall establish one side setback opposite a front setback (not abutting) as the rear setback for measuring depth purposes.

Add: Personal Service Establishment: A business where professional or personal services are provided for gain and where the sale at retail of goods, wares, merchandise, articles or things is only accessory to the provisions of such services, including but without limiting the generality of the foregoing, the following: barber shops, beauty shops, tailor shops, laundry or dry-cleaning shops, shoe repair or other similar uses.

Add: Short Term Rental: the rental of a residential unit, for a fee, for occupancy for less than 30 days, or less than one month.

Article III General Provisions

Add:

3.130 Fences (Residential)

Fences in all Residential Zones shall be permitted without a zoning permit provided the following criteria has been met. Fences that do not meet the following criteria shall be deemed a zoning violation.

- a. Fences are allowed within a property boundary with no required setback for the side or rear of the property. Fences are not allowed within the front setback. Fences on properties that have more than one street frontage shall be allowed on the secondary frontage to locate at ½ the front setback provided no obstruction to traffic is caused.

- b. No fence shall exceed 6 feet in height.
- c. Fences shall have the "good neighbor" side facing outward from the house.
- d. Fences in a PRD zone approved by the Planning Commission may have different criteria.
- e. Fences may not be located in an easement.

3.140 Fences (Commercial and Industrial)

Fences in all Commercial or Industrial Zones must have Design Review Committee Recommendations and Approval by the Planning Commission.

- 1. Fences shall be of aluminum, wood or PVC as per the approval of the Planning Commission. Chain link is discouraged and only approved when deemed suitable for the site and not detrimental to adjacent property owners.
- 2. Fences shall not exceed 8 feet in height.
- 3. Fences shall have proper screening if deemed necessary by the Design Review Committee and Planning Commission.
- 4. Fences may not be located in an easement.

Article IV Supplementary Provisions

Section 4.010 Strike J.

Add: Section 4.010 J. Medical or Dental Clinic: Not less than (four) 4 spaces per medical provider, plus one (1) space for each staff/personnel. For purposes of this section, medical provider is a person that performs individual treatment on a patient. Persons qualifying as medical provider would be and not limited to: Dental Hygienist, Nurse or Other Practitioner meeting with a patient to take vitals or treat a patient.

Article V Zoning Districts

Section 5.041 R-1 Low Density Residential

E. 1. Minimum Lot Size – Revise as Follows:

Area 2 acres

Lot Width at Required Front Building Setback 100 Feet

~~Lot Width at Road Frontage 50 Feet (35 feet in cul-de-sac)~~

Lot Width at Road Frontage 100 Feet (35 feet in arc of cul-de-sac)

Article V Zoning Districts

Section 5.042 R-2 Medium Density Residential District.

E. Dimensional Requirements

Delete: 1. ~~Lot Width at road frontage 75 feet (35 in a cul-de-sac) 100 feet (35 ft. in a cul-de-sac)~~

Replace with:

Lot Width at Road Frontage 75 feet (35 in arc of a cul-de-sac) 100 feet (35 ft. in arc of a cul-de-sac)

Article V Zoning Districts

Section 5.051 C-1 Central Business District

B. Uses Permitted

Delete: 3

Replace with 3: Convenience Commercial Services, including barber and beauty shops, grocery stores, and hardware stores.

Delete: 5. Restaurants

Replace with: 5. Restaurants with no Drive Through windows. To go orders are allowed.

Add: 7. Boutique Retail

Article V Zoning Districts

Section 5.052 C-2 General Commercial District

Delete A. District Description

Replace with A. District Description. This district is designed to provide adequate space in appropriate locations for uses which serve the needs of the public. Transient sleeping accommodations, dining establishments, and general retail needs primarily characterize this district. In addition, commercial trade and service uses are permitted if necessary to serve the recurring needs of persons frequenting this district. Community facilities and utilities necessary to serve this district, or necessary for the general community welfare are also permitted. Bulk limitations required of uses in this district, in part, are designed to maximize compatibility with lesser intense use of land or building in proximate residential districts. Regulations are designed to preserve the traffic carrying capacity of the streets and roads in Eagleville an to provide for necessary off-street parking and loading. All new commercial lots shall front on ether arterial or collector roads as indicated on the Eagleville Major Thoroughfare Plan.

Section 5.052 C-2 General Commercial District

B Uses Permitted

Delete: 14.

Replace with: 14. Convenience commercial services

Delete: 17. Restaurants

Replace with: 17. Restaurants with no Drive Through window. To go orders area allowed.

Add: 27. Pharmacies with No Drive Through Window

Article V Zoning Districts

Section 5.052 C-2 General Commercial District

D Uses Permitted as Special Exception

Delete: 2.

Add: 2. Reserved

Delete: 6. Automotive Service and repairs, including the sale of gas, oil, tires, and other goods and services required in the operation of automobiles

Add: 6. Reserved

Add: 11. Restaurants with Drive Through Window

Add: 12. Pharmacies with Drive Throught Window

Add: 13. Liquor Stores as per the Municipal Code

Article V Zoning Districts

Section 5.052 C-2 General Commercial District

Delete Section F.1

Replace with: F. 1. Minimum Lot Size. All lots shall be at least 35,000 square feet. Lots without sewer shall be a minimum of one acre. More than one building shall be permitted on a single lot if deemed by the Planning Commission that all safety needs have been met, including traffic, parking and other site and/or building code requirements.

Article V Zoning Districts

Section 5.052 C-2 General Commercial District

Delete F.2

Replace with F.2 Minimum Yard Requirements

Front Yard Setback 50 ft

Side Yard Setback 15 ft

Except where the side yard abuts or is adjacent to a residential district, church or school, in which case the minimum setback for that yard shall be forty (40) feet, and except where the side yard abuts a C-1 property with no setback requirement in which case the side setback minimum for that side shall be twenty (20) feet.

Rear Yard 25 feet

Except where the rear yard abuts or is adjacent to a residential district, church or school, in which case the minimum setback for that yard shall be forty (40) feet.

Corner Lots shall be treated in a way such that all facades considered to be the front/main entrance of the building facing streets will be held to front setback standards. Secondary facades not considered to be the main entrance shall be held to one half of the required front setback. All sites on a corner lot shall have at least on front setback imposed on the lot.

Article V Zoning Districts

Section 5.052 C-2 General Commercial District

Delete: F.3 Maximum Lot Coverage

Replace: F.3 Maximum Lot Coverage. All lots must maintain a minimum of twenty (20) percent green space, with no area less than one hundred (100) square feet counting towards the required twenty percent.

Article V Zoning Districts

Section 5.052 C-2 General Commercial District

Delete F.4 Lot Width

Replace with F.4 Lot Width and Lot Depth

No lot shall be less than one hundred (100) feet wide at the required building front setback line.

No lot shall be less than one hundred (100) feet wide at its road frontage, and 35 at the arc of the cul-de-sac.

No lot shall have a depth of less than fifty (50) feet anywhere on the lot.

Article V Zoning Districts

Section 5.061 I-1 General Industrial District

D. Uses Permitted as Special Exceptions

Delete: 1. Retail and Convenience Trade

Add: 1. Retail and Convenience Commercial Uses

Add: 6. Automotive service and repairs, including sale of gas, oil, tires and other goods and services required in the operation of automobiles

Add: 7. Liquor Stores as per the Municipal Code

Article VI Exceptions and Modifications

Delete Section 6.050 Exceptions to Setback Requirements

BE IT ENACTED that this ordinance shall take effect 15-days from and after its final passage, the public welfare requiring it.

Approved by the Eagleville City Council on:

Approved:

Chad Leeman, Mayor

ATTEST:

Christina Rivas, City Recorder

Passed First Reading:

Passed Second Reading:

Public Hearing Held:

APPROVED AS TO FORM:

Stephen Aymett, City Attorney

ITEM 7d New Business

Adoption of Planning Commission Meeting Dates for 2025

EAGLEVILLE
PLANNING COMMISSION MEETING SCHEDULE*
2025

<u>Submittal Deadline</u>	<u>Date of Meeting</u>
December 9, 2024	January 6, 2025
January 6, 2025	February 3, 2025
February 3, 2025	March 3, 2025
March 3, 2025	April 7, 2025
April 7, 2025	May 5, 2025
May 5, 2025	June 2, 2025
June 2, 2025	July 7, 2025
July 7, 2025	August 4, 2025
August 4, 2025	September 8, 2025
September 8, 2025	October 13, 2025 (Oct. 6 is Fall Break)
October 13, 2025	November 10, 2025
November 10, 2025	December 8, 2025

All Meetings will be held at 6:00 pm, *AS NEEDED.
in the Eagleville City Hall
108 S. Main Street
unless otherwise posted.

Board of Zoning Appeals and Design Review Board are held in conjunction
with Planning Commission meetings as needed.